

WELCOME

TELL US WHICH FEATURES YOU LIKE BEST TO INFORM THE PREFERRED UDISTRICT CONCEPT!



The City of Abbotsford and the University of the Fraser Valley are undertaking a joint initiative to shape the future of the UDistrict. This initiative includes the development of a **UDistrict Neighbourhood Plan** and a fully compatible and integrated **Abbotsford Campus Master Plan**. Building on the original UDistrict Vision, this integrated approach will deliver two highly effective plans to manage future growth.

THE OPPORTUNITY This is a rare opportunity to shape the future of both a dynamic institution and an important neighbourhood in a growing part of Abbotsford.

GET INVOLVED! We need the ideas of a wide range of people. The planning and design team is listening to your ideas as they prepare the Plans. “U Make it happen!”

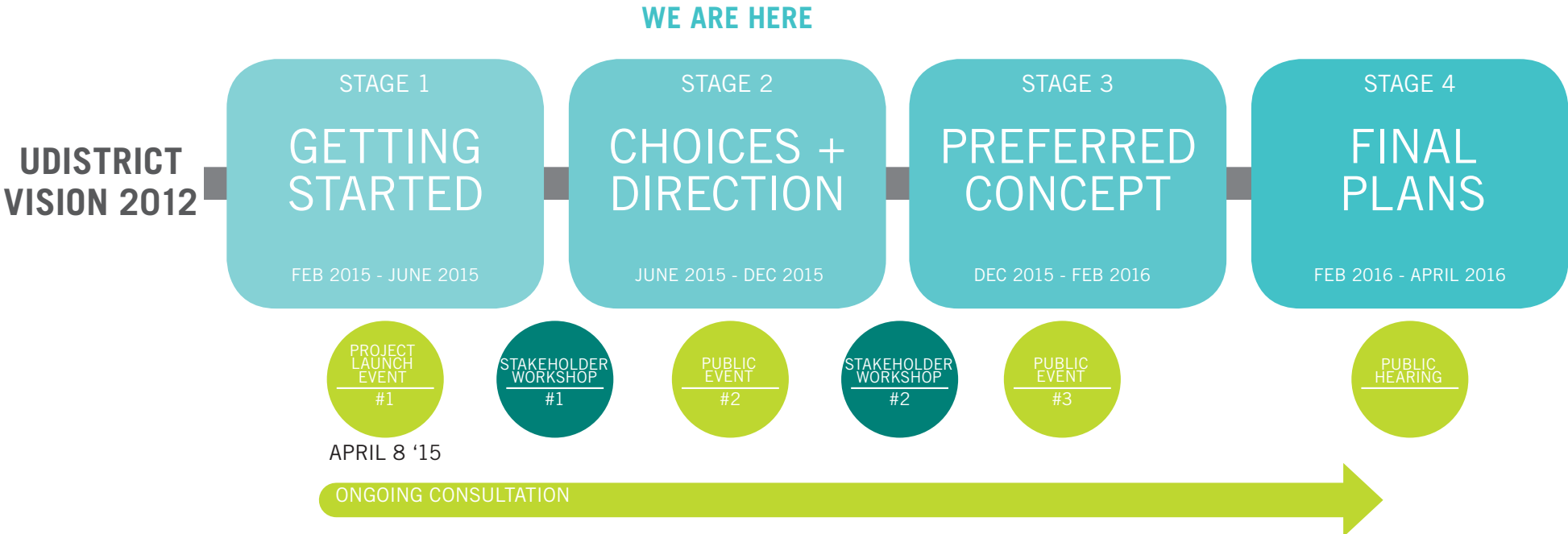
THE PROJECT

THE UDISTRICT This project will result in a UDistrict Neighbourhood Plan and a fully compatible and integrated Abbotsford Campus Master Plan.



— Urban Development Boundary - - - UFV Campus

THE PROCESS We are currently in Stage 2 of the UDistrict planning process. So far in Stage 2 we have prepared two concept options based on engagement and background analysis completed in Stage 1. **Today, we're asking for your input on the design features of two ways to grow, which will help us create a preferred option.** We will be back in early 2016 with a preferred concept and a draft plan.



GUIDING PRINCIPLES

The following draft guiding principles came out of the technical and public/stakeholder engagement work completed in Stage 1.



CREATE A COMMUNITY + CAMPUS HUB

Bring the Community + Campus together to create a vibrant and identifiable university village.



DESIGN GREAT PLACES FOR PEOPLE

Introduce a rich mix of uses organized in walkable precincts to enhance community life and offer diverse experiences for residents, students and visitors.



SUPPORT LEARNING EVERYWHERE

Learning happens everywhere. Support flexible, engaging learning opportunities throughout the Community + Campus.



ENSURE ACCESS TO NATURE

Enhance existing natural areas and more deeply integrate them into new development.



BRING INNOVATIVE SOLUTIONS

Look for new ways of demonstrating innovation in the built environment and ways in which the Community + Campus can exist together in a creative, interactive environment.



MAKE IT HAPPEN

Ensure the plans can be implemented with clear policies and an infrastructure strategy.



BALANCE PARKING

Ensure short term parking needs are met in a sensitive way and long term demand is reduced.

COMMUNITY + CAMPUS

The UFV campus is an important anchor, economic generator, and cultural catalyst in the City of Abbotsford. There is a need for co-ordinated planning to ensure mutual benefit between the City and UFV. The strategies below highlight how the two plans could work together to achieve the UDistrict vision.



CITY INITIATIVES

The joint planning process for the UDistrict between the City and UFV ensures both groups have a coordinated approach to capital projects, public realm investments, and new development.



LEARNING EVERYWHERE

The City and UFV are working together to create a network of gathering spaces that support collaboration and exploring partnership opportunities between the campus, community, and business.



GETTING TO CAMPUS

The City and UFV are exploring new pedestrian, cycling, and transit connections to better serve the university.



HOUSING

The City and university are exploring a rich mix of housing types on and off campus for students, staff and faculty within a short walk of the university to reduce car use and create a lively, attractive campus.



PARKING

The City and UFV are working together to reduce the need for parking in the UDistrict and explore opportunities for shared facilities.

THE COMMUNITY + CAMPUS CAN BE ORGANIZED IN DIFFERENT WAYS. WHICH OPTION DO YOU PREFER? WHY



COMMUNITY + CAMPUS USES REMAIN SEPARATE



THE BOUNDARY BETWEEN COMMUNITY + CAMPUS BLURS BUT USES REMAIN IN SEPARATE BUILDINGS



COMMUNITY + CAMPUS USES MIX ACROSS BOUNDARIES AND WITHIN BUILDINGS

THE NEIGHBOURHOOD

The UDistrict is an important neighbourhood in the City of Abbotsford. It has a current population of approximately 3,200 residents, and is home to both the Abbotsford Centre and the University of the Fraser Valley (UFV). The UDistrict is located at the southern terminus of the City's priority transit corridor and represents an important opportunity for transit-oriented infill development in the region.



URBAN DESIGN

The UDistrict planning team has developed two community concepts that show different approaches to applying the Guiding Principles. The concepts differ in several important ways but both follow best practices in urban design:



1. FINER-GRAINED STREETS

New street connections to help distribute traffic and create a more walkable, transit-oriented UDistrict.



2. MULTI-MODAL MOVEMENT

More comfortable, convenient and extensive walking, cycling and transit infrastructure to support transportation choices.



3. FOCUSED RETAIL

New shops located a short walk or bike ride from existing and new homes.



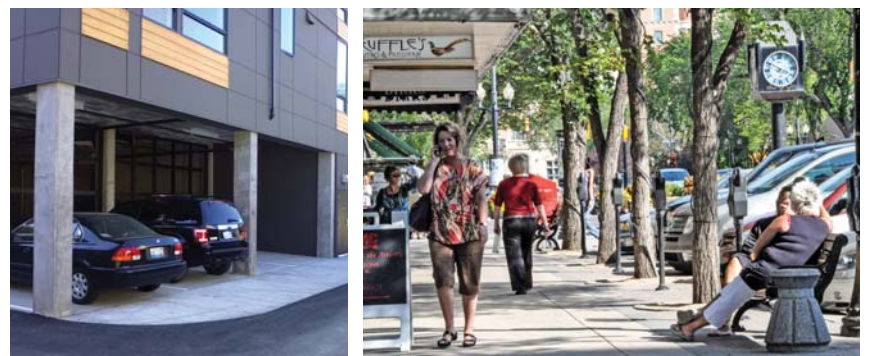
4. INTEGRATED PARKS

More parks and open spaces throughout the UDistrict to provide green space and amenities for new and existing residents.



5. CAMPUS CONNECTIONS

More integrated housing and business connections between the neighbourhood and university to create a vibrant campus/community 'heart.'



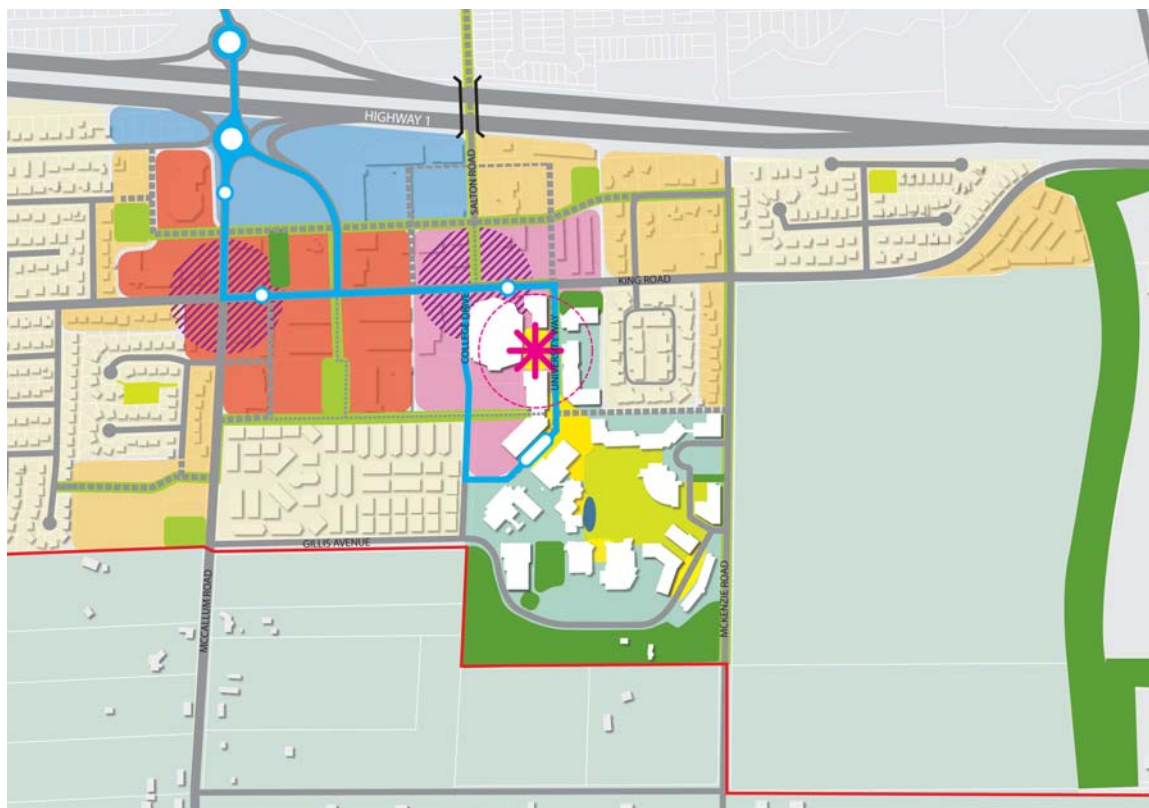
6. BALANCED PARKING

Mix of on-street, surface and structured parking (underground or parkades) to balance parking needs with a people-centred design.

CONCEPT COMPARISON

Both concepts meet the intent of the Guiding Principles and apply best practices in complete community planning. **Learn about the differences between the concepts below. Then, tell us what you think about the features of each concept on the following boards.**

CONCEPT 1



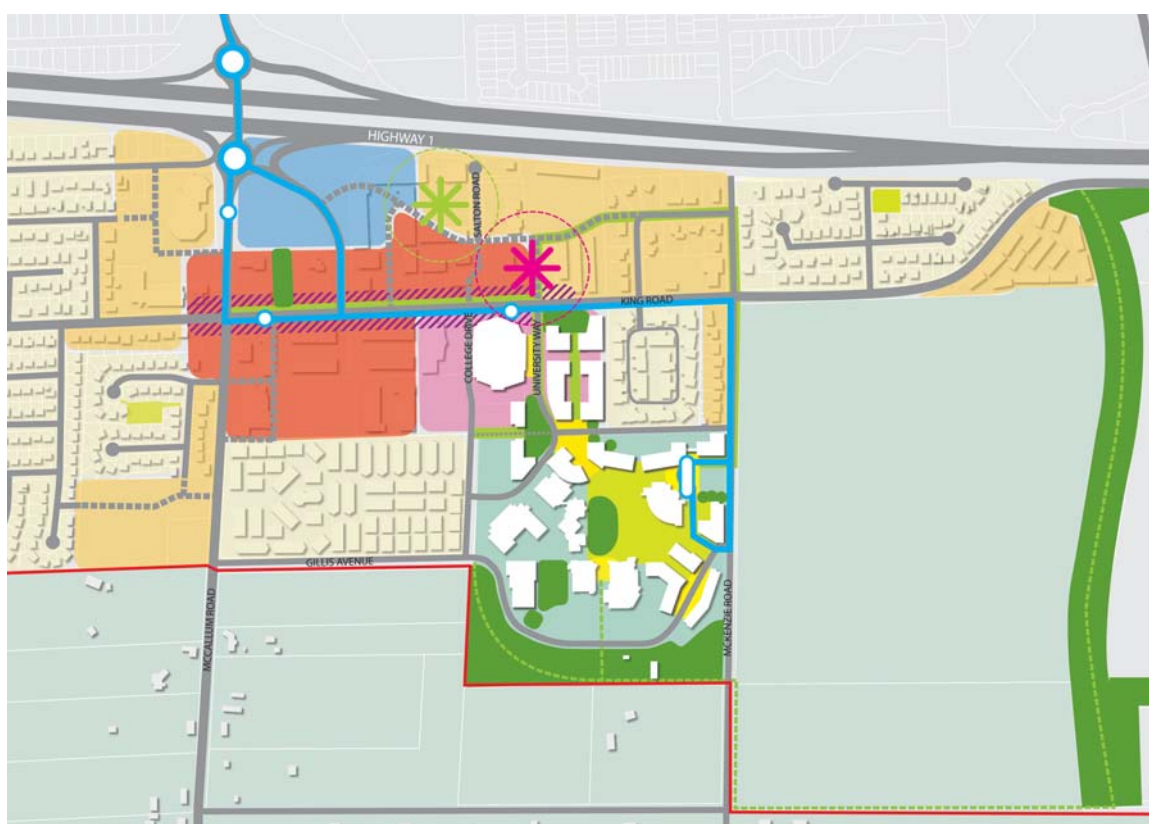
CONCEPT 1 focuses public investment on improving connections to and within the UDistrict.

It's an ambitious vision that knits the neighbourhood and campus together.

Features include:

- multi-use pathway
- bike/pedestrian bridge
- network of greenways
- neighbourhood parks and plazas throughout the community

CONCEPT 2



CONCEPT 2 focuses public investment on a central gathering place.

The entrance to UFV and the transit terminal stay where they are, and bike/pedestrian improvements are made to the McCallum Interchange.

Features include:

- major public plaza
- community park
- trail network

LEGEND

Urban Development Boundary	Trail	New Street
Existing Residential	Campus Plaza	Public Plaza
Townhouse	ALR	Community Park
Apartment	Existing Park	Local Transit Route
Mixed Use	New Neighbourhood Park	Transit Stop
Town + Gown	Open Green Space	Transit Terminal
Mixed Employment	Greenway	
Campus Core	Green Street	

On the next boards, tell us which features you like best for **land use**, **mobility**, and **open space**!

UDISTRICT: LAND USE

Complete communities rely on a rich mix of uses that are close to each other, transit, and amenities like parks and plazas. The UDistrict is currently supported by a range of land uses, from education to employment, retail, residential, and recreation. These uses are described below.



MIXED EMPLOYMENT

Creating a critical mass of employment opportunities will allow residents and students alike to participate in the economic life of the neighbourhood. Potential uses include a mix of office, business park, and live/work studios.



EXISTING RESIDENTIAL

Existing homes in the UDistrict include single family homes, low-rise multi-family, and mid-rise student housing.



MIXED USE

The UDistrict Plan encourages a rich mix of uses across the neighbourhood and within individual buildings. The mixed use overlay indicates areas with retail at grade and a mix of residential, office and/or institutional above.



TOWNHOUSE

The UDistrict seeks to locate a broad range of compact housing types within easy walking distance of existing and planned bus stops. This area includes a mix of medium density housing including townhouses.



TOWN + GOWN

The Town + Gown Area is the 'Heart' of the UDistrict. The place where campus and community come together to live, learn, work, and play. Potential uses include cafes, bars, restaurants, shops and services, offices, churches, and a mix of compact housing and live-work studios. A hotel/convention centre and 'spill-over' university uses could create significant synergies in this area.



CAMPUS CORE

The campus core includes academic and research uses, student housing and recreational facilities. The campus is an important anchor in the UDistrict and helps to support demand for local housing, employment, and retail.



APARTMENT

Apartment areas are intended to provide higher density residential uses to support expanded transit service, local retail and a vibrant sense of community.



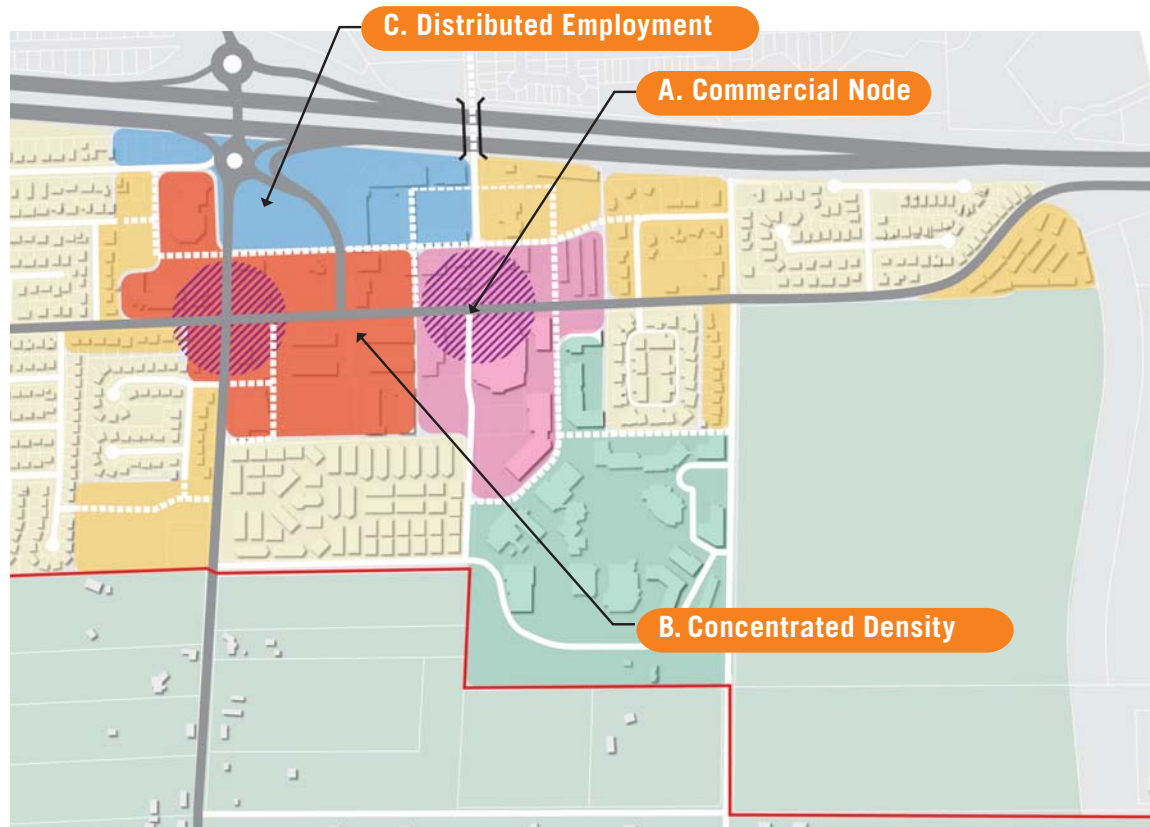
ALR

Abbotsford is home to a wide range of crop and livestock production, an important part of our economy. The Agricultural Land Reserve (ALR) protects much of this land.

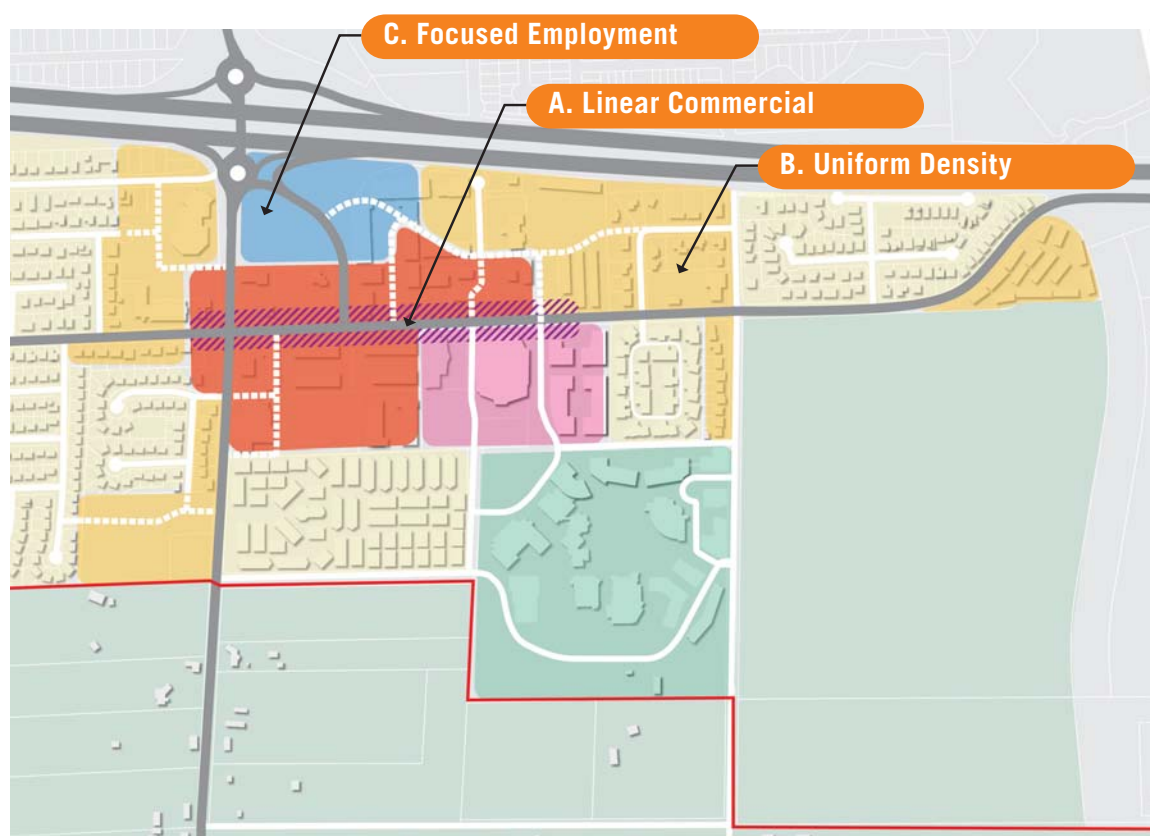
UDISTRICT: LAND USE

Land uses show *what* can be built and *where*. Think about what kind of shopping and living choices you'd like to see in the UDistrict in the future. Then, tell us which features you prefer. It's ok to pick some features from Concept 1 and others from Concept 2.

CONCEPT 1



CONCEPT 2



LEGEND					
	Urban Development Boundary		Existing Residential		Mixed Use
	ALR		Townhouse		Town + Gown
	Campus Core		Apartment		Mixed Employment

A. RETAIL

CONCEPT 1 illustrates two distinct commercial nodes, one that caters more to regional customers and one that includes walkable retail. **CONCEPT 2** shows a walkable, pedestrian-oriented retail street along King Road.

WHICH FEATURE DO YOU PREFER? Use a sticky dot to mark your preference below.



WHY? Tell us why using a sticky note below.

B. HOUSING

CONCEPT 1 focuses higher residential density within the core urban area, with density tapering off towards the edges. **CONCEPT 2** introduces a more uniform, medium density throughout the UDistrict.

WHICH FEATURE DO YOU PREFER? Use a sticky dot to mark your preference below.



WHY? Tell us why using a sticky note below.

C. MIXED EMPLOYMENT

CONCEPT 1 distributes employment opportunities along Highway 1. **CONCEPT 2** focuses employment opportunities near McCallum Interchange.

WHICH FEATURE DO YOU PREFER? Use a sticky dot to mark your preference below.



WHY? Tell us why using a sticky note below.

UDISTRICT: LAND USE

Land uses show *what* can be built and *where*. **We want to know what kind of shops, homes, and jobs you want to see in the UDistrict.** Use a sticky dot to tell us what you prefer. Then, tell us why you answered this way using a sticky note.

RETAIL

Different retail options can serve local and regional residents. Which retail option do you prefer? Why?



STAND-ALONE



STRIP MALL



MIXED USE

HOUSING

Housing that can support adequate transit comes in many shapes and sizes. Which housing option do you prefer? Why?



TOWNHOUSE



APARTMENT



MIXED USE APARTMENT

EMPLOYMENT

Employment uses can range from business park to live/work studios. Which employment option do you prefer? Why?



BUSINESS PARK



OFFICES

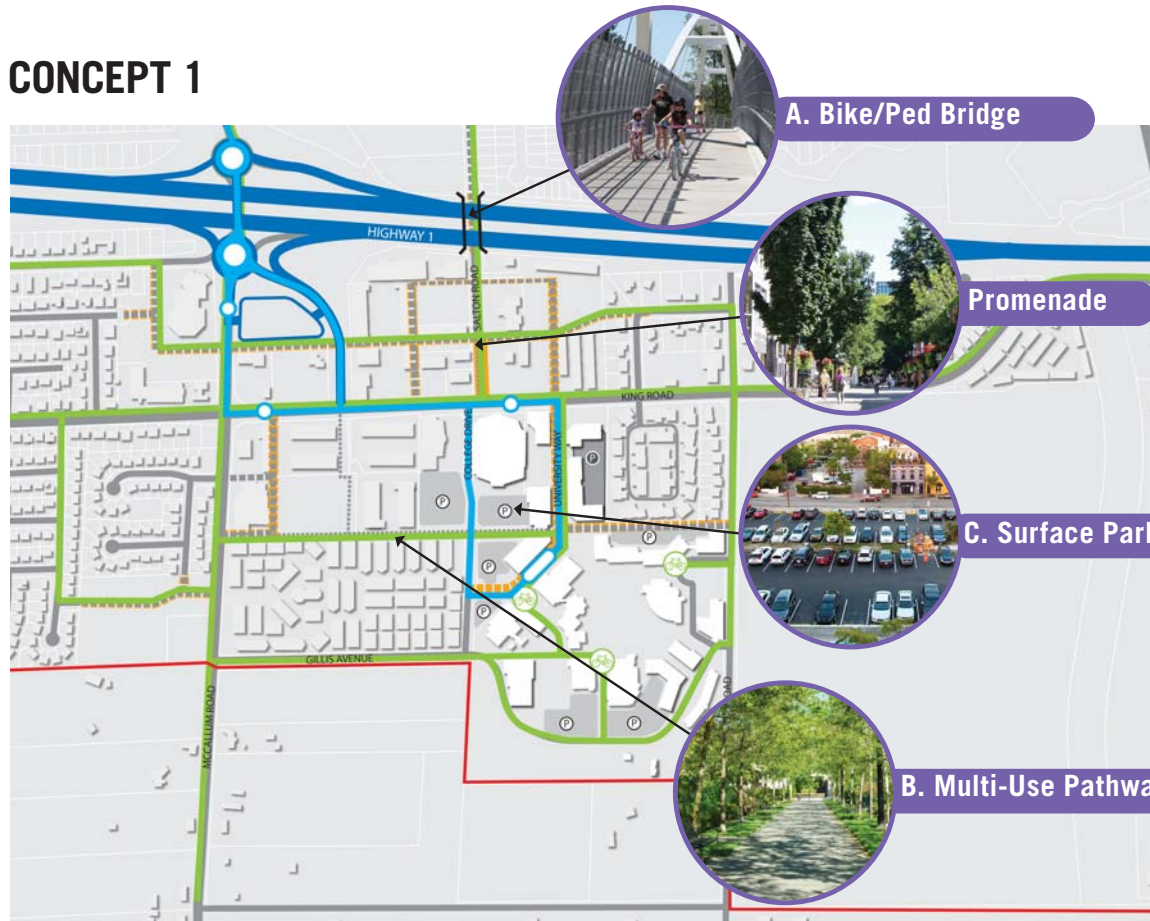


LIVE/WORK STUDIOS

UDISTRICT: MOBILITY

Mobility is how you get to and around the UDistrict. **Think about how you'd like to travel to and around the UDistrict in the future. Then, tell us which features you prefer.** It's ok to pick some features from Concept 1 and others from Concept 2.

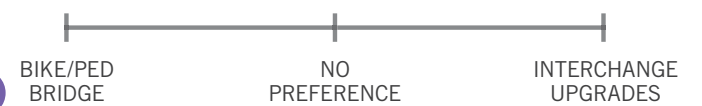
CONCEPT 1



A. BIKE/PEDESTRIAN BRIDGE

CONCEPT 1 shows a new bike/pedestrian connection over Highway 1. **CONCEPT 2** continues to focus car, bike and pedestrian activity towards the existing McCallum Interchange, which would be enhanced for bike/pedestrian safety.

WHICH FEATURE DO YOU PREFER? Use a sticky dot to mark your preference below.

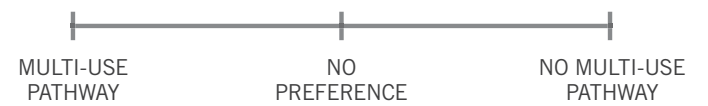


WHY? Tell us why using a sticky note below.

B. NEW MULTI-USE PATHWAY

CONCEPT 1 shows a new multi-use pathway connecting the campus with the neighbourhood to the west. **CONCEPT 2** instead focuses on improving the experience for people walking and cycling on McCallum Rd. and King Rd.

WHICH FEATURE DO YOU PREFER? Use a sticky dot to mark your preference below.



WHY? Tell us why using a sticky note below.

CONCEPT 2



C. APPROACH TO PARKING

CONCEPT 1 includes mostly surface parking. Given the limited land area available, this would require a reduction in parking spaces per person. **CONCEPT 2** shows parkades close to the university to help meet increased demands as a result of future growth.

WHICH FEATURE DO YOU PREFER? Use a sticky dot to mark your preference below.



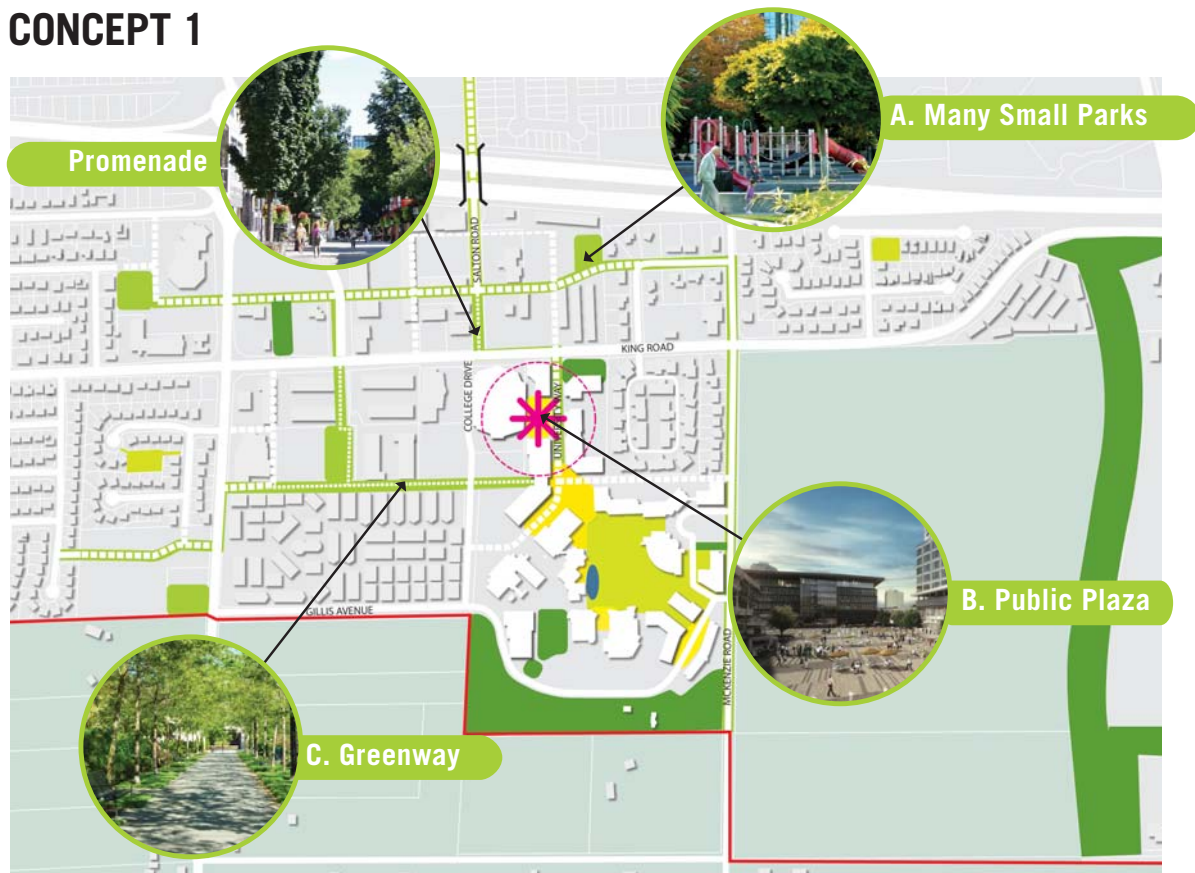
LEGEND

- Urban Development Boundary
- New Street
- Bike Route
- End of Trip Bike Facilities
- Local Transit Route
- Transit Stop
- Transit Terminal
- Regional Transit
- Surface Parking
- Structured Parking

UDISTRICT: OPEN SPACE

Open Space refers to parks, plazas, greenways, and trails. **Think about the urban and natural outdoor experiences you'd like in the UDistrict in the future. Then, tell us which features you prefer.** It's ok to pick some features from Concept 1 and others from Concept 2.

CONCEPT 1



A. APPROACH TO PARKS

CONCEPT 1 incorporates a larger number of smaller parks spread out in the community. **CONCEPT 2** shows one large park located in the UDistrict.

WHICH FEATURE DO YOU PREFER? Use a sticky dot to mark your preference below.

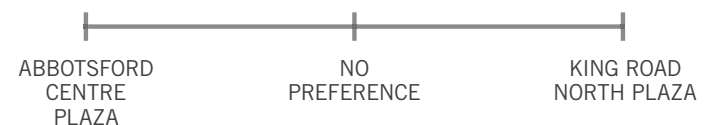


WHY? Tell us why using a sticky note below.

B. PUBLIC PLAZA

CONCEPT 1 shows a large public plaza, acting as the community 'heart,' located on campus next to the Abbotsford Centre. **CONCEPT 2** locates the public plaza north of King Rd. on lands that will be part of a new mixed use Town + Gown area.

WHICH FEATURE DO YOU PREFER? Use a sticky dot to mark your preference below.



WHY? Tell us why using a sticky note below.

C. TRAIL NETWORK

CONCEPT 1 creates a network of greenways, or multi-use trails, within the existing community. **CONCEPT 2** introduces a new trail network that connects to the green ridge at the eastern extent of the UDistrict.

WHICH FEATURE DO YOU PREFER? Use a sticky dot to mark your preference below.



WHY? Tell us why using a sticky note below.

CONCEPT 2



LEGEND

- Urban Development Boundary
- Existing Park
- New Neighbourhood Park
- Open Green Space
- Trail
- Campus Plaza
- Greenway
- Green Street
- ✳ Public Plaza
- ✳ Community Park

CAMPUS MASTER PLAN

The Campus Master Plan is a framework for change that will guide how the University of the Fraser Valley physically evolves over the next 20 to 25 years. As part of this process a high level space analysis was conducted to assess existing and required facilities to support the University's strategic goals as student enrollment is projected to grow from 5,300 full time equivalents to approximately 6,900 by 2040.

MOUNT BAKER VIEWS

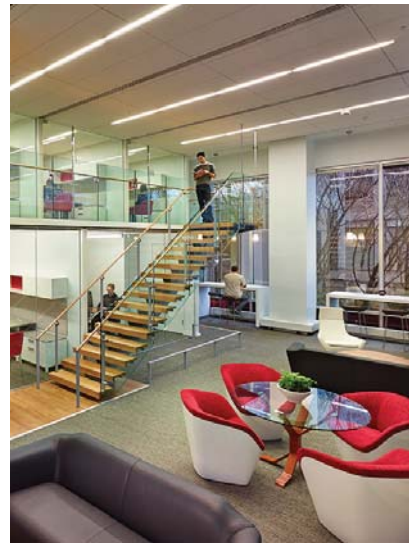
The abbotsford campus is situated within a dramatic natural setting and frames important views to Mount Baker from the central green.



DESIGN GUIDELINES will be developed to shape the design of new buildings and open spaces. New spaces will be designed using best practices to support learning, and be flexible to anticipate future changes, overlapping uses, and new technologies. Buildings will provide exhibition space for student work and interactive common spaces to encourage collaboration and social gatherings.

VISION 2025 DIRECTIONS

The University of the Fraser Valley is currently undertaking Vision2025 to identify the University's strategic direction. The Campus Master Plan will reflect this work in the physical structure of the campus as described below and on the following boards.



1. A WELCOMING CAMPUS

Students and the community are welcomed throughout the campus with clear wayfinding, buildings that showcase university activities, active ground floor uses that draw people into the campus, and a public realm that encourages you to stay.



2. CROSSING BOUNDARIES

The areas within the campus and between the university and the community become more mixed through catalyst projects, shared public spaces, meaningful connections with local businesses and industry, and academic uses moving beyond the boundaries of the existing campus.

VISION 2025 DIRECTIONS



3. LEARNING EVERYWHERE

Students become active agents in their own learning with indoor and outdoor spaces that support active, experiential, and peer-to-peer learning and cross-disciplinary collaboration.



4. SUPPORTING STUDENTS

Supporting the student learning journey means personalized learning pathways that require space for one-on-one advising, student and faculty collaboration, and expansion of student services.



5. INNOVATION + TECHNOLOGY

Infrastructure to support technology and innovation is part of every aspect of the campus design. UFV becomes a showcase for best practices in sustainability, food security, and bringing the campus and community together in creative ways. This could include innovative partnerships with industry and non-profit groups.



6. PROVIDING FLEXIBILITY

Create interactive learning environments inside and outside of the classroom that are flexible to support a variety of learners and activities. This applies to classroom configuration, learning spaces both on and off campus, and the provision of learning facilities that can adapt and change over time.

CONCEPT COMPARISON

Both concepts work from Vision2025 and the UDistrict background analysis to apply best practices in campus planning. [Learn about the differences between the concepts below. Then, tell us what you think about the features of each concept on the following boards.](#)

CONCEPT 1



CONCEPT 1 fully integrates the campus and community with a more urban approach to mixed use development, plazas, and green space.

Features include:

- centrally located transit terminal
- major public plaza on campus
- redesign of central green to become the 'heart' of the campus
- student housing and academic uses on and off campus

CONCEPT 2



CONCEPT 2 preserves the existing suburban character with naturalized green spaces and a greater distinction between campus and community.

Features include:

- transit terminal located off McKenzie Rd.
- major public plaza off campus
- greater retention of existing trees and green spaces
- student housing and academic uses remain on campus

LEGEND

Urban Development Boundary	Trail	Public Plaza
Existing Residential	Campus Plaza	Major Gathering
Townhouse	ALR	View to Mt Baker
Apartment	Campus Core	Local Transit Route
Mixed Use	Existing Green Space	Transit Stop
Town + Gown	Treed Area	Transit Terminal
Mixed Employment	Greenway	Surface Parking
New Buildings	Green Street	Structured Parking

CAMPUS USES

Campus uses show *what* can be built on or adjacent to campus. **We want to know what kind of campus buildings, student housing, and central green you would like to see.** Use a sticky dot to tell us what you prefer. Then, tell us why you answered this way using a sticky note.

CAMPUS BUILDINGS

The campus can accommodate growth in buildings of various scale and height. Which do you prefer? Why?



3 STOREYS



4-6 STOREYS



7-8 STOREYS

STUDENT HOUSING

Housing that supports campus life could range from student residences, like those currently on campus, to rental housing near the campus. Which housing option do you prefer? Why?



STUDENT RESIDENCE



MIXED USE RETAIL, ACADEMIC + RESIDENCE



NEARBY RENTAL APARTMENTS

THE CENTRAL GREEN

The Central Green is a defining feature of the Abbotsford campus. How would you like to see this space used in the future? Which big idea do you prefer? Why?

SUBURBAN



OPEN GREEN SPACE FOR A RANGE OF ACTIVITIES



TERRACED SEATING / AMPHITHEATRE WITH WEATHER PROOF OUTLETS

URBAN

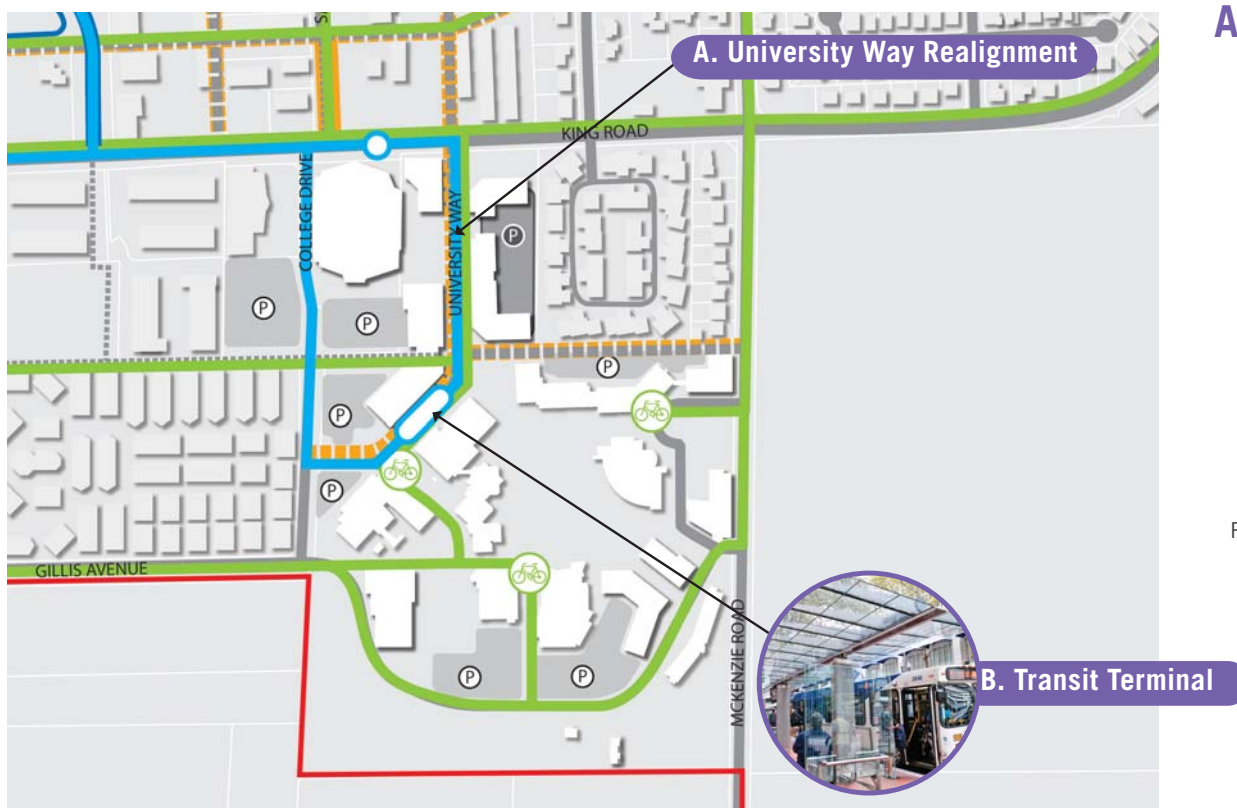


CONTEMPLATIVE WATER FEATURE

GETTING AROUND

Think about how you'd like to travel to and around the Campus in the future. Then, tell us which features you prefer. It's ok to pick some features from Concept 1 and others from Concept 2.

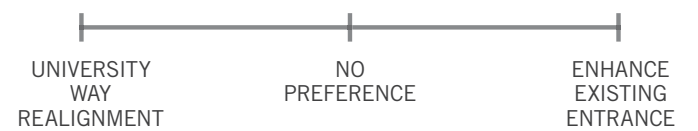
CONCEPT 1



A. NEW ENTRANCE TO UFV

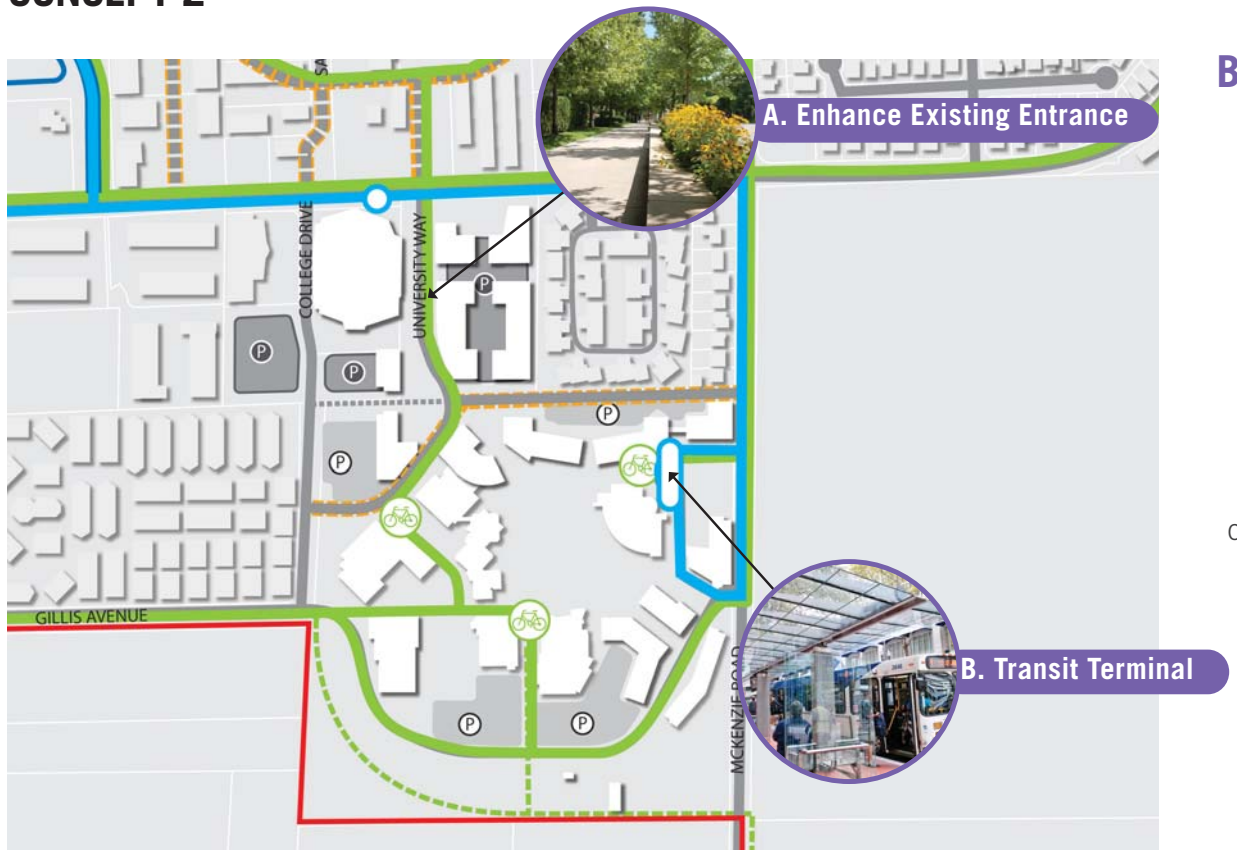
CONCEPT 1 shows a realignment of University Way to create more room for a major plaza next to Abbotsford Centre. **CONCEPT 2** enhances the existing University Way to create a multi-use boulevard entering the campus.

WHICH FEATURE DO YOU PREFER? Use a sticky dot to mark your preference below.



WHY? Tell us why using a sticky note below.

CONCEPT 2



B. TRANSIT TERMINAL

CONCEPT 1 shows the relocation of the transit terminal to the western boundary of the campus. This could help to bring transit closer to the community and new university development. **CONCEPT 2** keeps the terminal at its current location off of McKenzie Rd.

WHICH FEATURE DO YOU PREFER? Use a sticky dot to mark your preference below.



WHY? Tell us why using a sticky note below.

LEGEND

- Urban Development Boundary
- New Street
- Bike Route
- End of Trip Bike Facilities
- Local Transit Route
- Transit Stop
- Transit Terminal
- Surface Parking
- Structured Parking

CAMPUS OPEN SPACE

Open Space refers to parks, plazas, pathways, and trails. **Think about the urban and natural outdoor experiences you'd like on campus in the future. Then, tell us which features you prefer.** It's ok to pick some features from Concept 1 and others from Concept 2.

CONCEPT 1



A. THE CAMPUS 'HEART'

CONCEPT 1 shows the campus 'heart' in the Central Green which has been redesigned to allow for large events. **CONCEPT 2** locates the campus 'heart' in a student plaza at the redesigned entrance to the campus core.

WHICH FEATURE DO YOU PREFER? Use a sticky dot to mark your preference below.

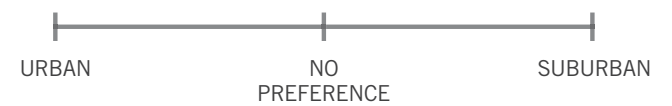


WHY? Tell us why using a sticky note below.

B. URBAN VS SUBURBAN

CONCEPT 1 takes a more urban approach to the public realm on campus while **CONCEPT 2** preserves existing trees and takes a more modest approach to redesigning of the Central Green.

WHICH FEATURE DO YOU PREFER? Use a sticky dot to mark your preference below.



WHY? Tell us why using a sticky note below.

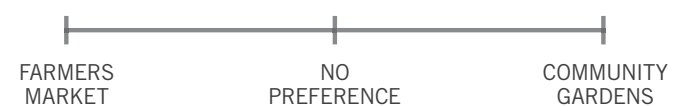
CONCEPT 2



C. CAMPUS FOOD SYSTEMS

CONCEPT 1 could include a farmers market within the new student plaza on campus. **CONCEPT 2** provides additional opportunities for community gardens and research plots within the Central Green.

WHICH FEATURE DO YOU PREFER? Use a sticky dot to mark your preference below.



WHY? Tell us why using a sticky note below.

LEGEND

- Urban Development Boundary
- Existing Park
- New Neighbourhood Park
- Wooded Area
- Trees
- Trail
- Campus Plaza
- Greenway
- Green Street
- * Public Plaza
- * Community Park
- ♥ Major Gathering
- View to Mt Baker