



RAIL TRAIL

RES.
CLAYBURN
BRICKWORKS

RESIDENTIAL
RECREATION
SOME RETAIL

RETAIL HUB /
ANCHOR
BRICKWORKS
MARKET OPTION ~
INDOORS FOR WINTER

EXISTING
MARKET

4 BLOCK
HISTORIC CORE
DESIGNATION

PARKING ASSIGNMENTS
FOR TENANTS /
SHARED SPACES.
MORE SPACES ON PERIMETER

GEORGE FERGUSON
MAJOR ROUTE

MIXED USE
DEVELOPMENT

INTERSECTION
RE-DESIGN
PED. X-INGS

MIXED USE

LANDWAY
DEVELOPMENT

HISTORIC 2 STOREY
FRONTAGES

REDUCE TRAFFIC
CAPACITY ON
ESSENDINE IN
CORE

RAILYARD

BUCKEYEFIELDS
MARKET OPTION ~
INDOOR COMPONENT

PARK MARKET OPTION ~
CONNECTIVITY

OFFICE /
RETAIL
ALONG
S. FRASER

PUBLIC PARKING
AND COMMUNITY
FACILITY

TO MILL LAKE

JUBILEE

RECREATION

TRANSIT
HUB

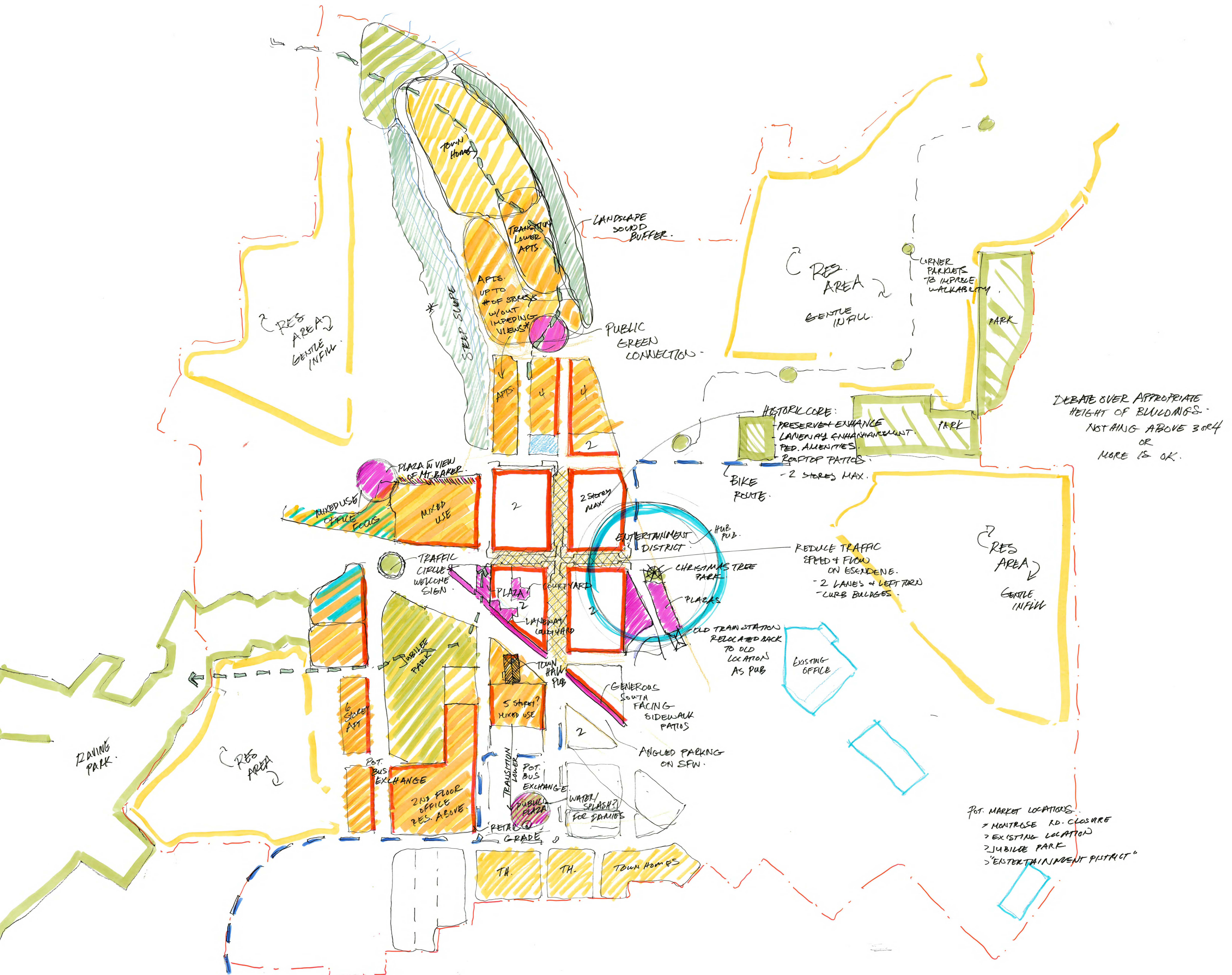
GT MIXED USE
DEVELOPMENT

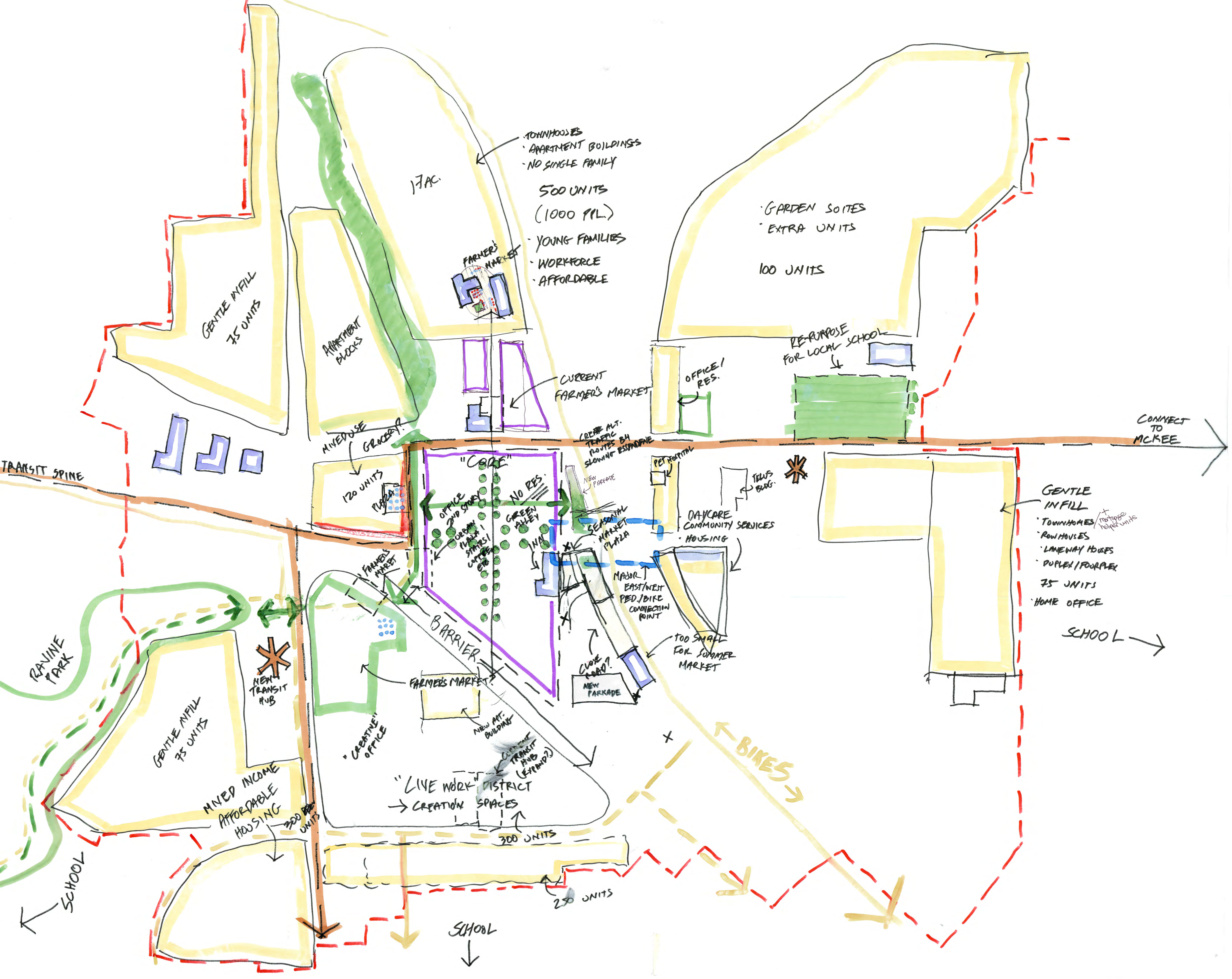
SOUTH FRASER
MAJOR ROUTE

RES.
NEW TOWN

RAIL TRAIL
TRACKS







- TOWNHOUSES
- APARTMENT BUILDINGS
- NO SINGLE FAMILY

500 UNITS
(1000 PPL)

- YOUNG FAMILIES
- WORKFORCE
- AFFORDABLE

- GARDEN SITES
- EXTRA UNITS

100 UNITS

GENTLE INFILL
75 UNITS

APARTMENT
BLOCKS



CURRENT
FARMER'S MARKET

OFFICE/
RES.

RE-PURPOSE
FOR LOCAL SCHOOL

CONNECT
TO
MCKEE

TRANSIT SPINE

MIXED USE
GROcery

CREATE ALT.
TRAFFIC
ROUTES BY
SLOWING ESTABLISHED

"CORE"

120 UNITS

NO RES.

OFFICE
AND STUDY

SEASONAL
MARKET
PLAZA

DAYCARE
COMMUNITY SERVICES
HOUSING

RAVINE
PARK

GENTLE INFILL
75 UNITS

MIXED INCOME
AFFORDABLE
HOUSING

200 UNITS

FARMER'S MARKET

"CREATIVE"
OFFICE

NEW ART
BUILDING

EXISTING
TRANSIT HUB
(EXPAND?)

"LIVE WORK" DISTRICT
→ CREATION SPACES

300 UNITS

250 UNITS

GENTLE
INFILL

- TOWNHOUSES / mixed use / duplex units
- ROW HOUSES
- LANEWAY HOUSES
- DUPLEX / FOURPLEX
- 75 UNITS
- HOME OFFICE

SCHOOL →

SCHOOL ←

SCHOOL ↓

BIKES →