



COUNCIL REPORT

Executive Committee

Report No. PDS 024-2023

Date: January 23, 2023

File No: 3100-05 PRJ21-091

To: Mayor and Council
From: Tahir Ahmed, Planner
Subject: Rezoning application (2749 McCallum Road)

RECOMMENDATION

1. THAT Bylaw No. 3335-2023, "Abbotsford Zoning Bylaw, 2014, Amendment Bylaw No. 488", be given first and second readings at the next Council Meeting, and be advanced to an upcoming Public Hearing;
2. THAT prior to adoption of Bylaw No. 3335-2023, "Abbotsford Zoning Bylaw, 2014, Amendment Bylaw No. 488", the following conditions be satisfied:
 - (a) entering into a development agreement and/or providing cash-in-lieu to secure the required road dedication and utility upgrades and extensions, in accordance with Development Bylaw, as detailed in the attached Works and Services Report;
 - (b) providing a road widening dedication of approximately 1.25 m along the full frontage of McCallum Road, in accordance with Development Bylaw;
 - (c) providing a cash-in-lieu payment of \$6,500.00 for the required upgrades at the intersection of McCallum Road and George Ferguson Way, as per the Works and Services Report;
 - (d) providing a community benefit contribution of \$1,250.00; and
 - (e) resolving all issues of funding for items not budgeted by the City.

REPORT CONCURRENCE	
General Manager	City Manager
The General Manager concurs with the recommendation of this report.	The City Manager concurs with the recommendation of this report.

PURPOSE

To consider rezoning the subject property from Urban Residential Zone (RS3) to the Rowhouse Residential Zone (RMR) to facilitate the construction of a three unit fee simple rowhouse development within one building.

SUMMARY OF THE ISSUE

The applicant proposes to rezone the subject property from Urban Residential Zone (RS3) to the Rowhouse Residential Zone (RMR) to facilitate the construction of a three unit fee simple rowhouse development within one building (Attachments A – C and Figures 0 – 11). The proposed rowhouse development is consistent with Urban 2 – Ground Oriented land use designation of 2016 OCP and staff are therefore supportive of the proposed rezoning.

BACKGROUND

Applicant:	D & D Design Ltd. (Contact: Darren Hall)
Owner:	N2 Investments Inc. No. BC0947582 (Sanjeev Aggarwal)
Legal Descriptions:	Lot 10 Block 1 Section 21 Township 16 New Westminster District Plan 1584
OCP Designation:	Urban 2 – Ground Oriented
Existing Zoning:	Urban Residential Zone (RS3)
Proposed Zoning:	Rowhouse Residential Zone (RMR)
Site Area:	0.07 ha (0.18 ac)
Site Description:	The site is flat, moderately vegetated with trees and bushes and contains one single detached building and a shed.
Surrounding Uses:	N: Single detached dwellings (zoned RS3 and designated Urban 2 – Ground Oriented); S: Single detached dwellings (zoned RS3 and designated Urban 2 Ground Oriented); E: McCallum Road and apartment buildings beyond; W: Municipal lane and single detached dwellings beyond (zoned RS3 and designated Urban 2 – Ground Oriented).

DISCUSSION

Context

1. The proposed development is located on the west side of McCallum Road, in the northwest area of the Historic Downtown Neighbourhood Plan. The area is primarily made up of single detached dwellings (west of McCallum) and multifamily homes on the east side of McCallum. The subject property is within 400 m of two main transit routes, the primary transit corridor along South Fraser Way and Frequent Transit Corridor along George Ferguson Way. Furthermore, the site is also located in close proximity to the commercial services and within walking distance of the rest of the amenities and services within the Historic Downtown (see Figures 1 and 2).

Official Community Plan (OCP)

2. The Historic Downtown Neighbourhood Plan designates the site Urban 2 – Ground Oriented (Figures 3 and 3a), which enables multifamily housing to support Mixed Use

Centres, and/or serve as transition areas near single detached neighbourhoods. This land use designation allows for townhouses and rowhouses at heights up to three storeys, with densities between 0.5 and 1.5 Floor Space Ratio (FSR). The proposed three unit fee simple rowhouse development, within one building, complies with the Urban 2 – Ground Oriented land use designation as the proposed fee simple rowhouse lots will have an FSR ranging from 0.90 to 1.10 FSR.

3. The proposed development is in keeping with the broad objectives of the Urban Structure of the OCP by:
 - i. *Urban Core* – Accommodating additional redevelopment and intensification of uses in an area in proximity to the Transit Priority Corridor which connects to Mixed Use Centres; and
 - ii. *Focused Residential Growth* - Focusing an overall 75% of new residential growth in centres and existing neighbourhoods, with the most intensification in the Urban Core.
4. The proposed development is consistent with the land use designation and objectives of 2016 OCP and staff support the proposed rezoning.

Affordable Housing Strategy

5. On May 25, 2020 the City adopted an updated Affordable Housing Strategy (AHS). This strategy contains two overarching policy topics; Housing Supply and Partnerships and Coordination. Under the category of Housing Supply, similar to the OCP objectives and policies, the AHS encourages the development of diverse housing options for all stages of life across the housing continuum. The applicant's proposal is consistent with this policy objective.

Strategic Zoning Bylaw Update

6. On June 27, 2022, Council adopted the Strategic Zoning Bylaw Update, Bylaw No. 3249-2022 (Bylaw) consisting of items that implement broad policy and planning objectives under Council's 2019-2022 Strategic Plan Zoning Bylaw objective.
7. Under the Strategic Update, Council further approved a transition strategy for already approved or in-stream development applications. The intent of this transition strategy is to allow all active Form and Character Development Permit applications to move forward under the existing Zoning Bylaw regulations, with the option to pursue the new regulations, in full as amended in the Bylaw by providing a written letter to the General Manager of Planning and Development Services requesting to apply the new Zoning Bylaw regulations in full. The applicant has submitted this letter dated November 30, 2022 and chose to proceed under the new amended Bylaw in full. Thus, the overall zone compliance/review of the proposed development is conducted on the newly amended Bylaw No. 3249-2022.

Zoning

8. The subject property is currently zoned Urban Residential Zone (RS3). The applicant has proposed to rezone the subject property to Rowhouse Residential Zone (RMR) to

permit the development of a three unit fee simple rowhouse development in one building (see Figure 5).

9. The RMR Zone permits rowhouse use with a maximum height of up to three storeys or 11 m with a density of 0.5 – 1.5 Floors Space Ratio (FSR) and 65% lot coverage. The proposed three lots comply with the minimum area and dimension requirements of the RMR Zone. The proposal fully complies with the proposed RMR Zone, which fully aligns with the Urban 2 – Ground Oriented land use designation in the OCP and Historic Downtown Neighbourhood Plan and staff therefore, support the proposed rezoning.

Development Permit

10. The proposed development is subject to Multifamily Residential Form and Character Development Permit guidelines contained within the OCP (see Figures 3 and 3a). The objectives of these guidelines are to encourage the construction of well-designed, attractive and livable residential developments.
11. The applicant has provided DP Drawings prepared by D & D Design Architectural Planning illustrating the proposed development (Figures 5 to 9). As no variances are proposed, the Development Permit for Form and Character will be reviewed for issuance by the Director Development Planning in accordance with the delegation of powers contained within the Development Application Procedures Bylaw.

Access and Parking

12. The Zoning Bylaw requires a minimum of two parking spaces for a rowhouse. As required by the Zoning Bylaw, the development provides a total of 6 off-street parking spaces, located within detached garages provided for three row houses. All of the vehicular access is proposed from the rear lane resulting in an enhanced streetscape and additional street parking along McCallum Road. No visitor parking is required as each unit is proposed on its own fee simple lot, in accordance with the Zoning Bylaw.
13. As a future condition of DP issuance staff further anticipate the registration of a covenant to prohibit the conversion of garage space into habitable space as a preventive measure to mitigate long-term parking concerns.

Landscaping/Tree Removal and Replacement

14. An Arborist report was submitted in conjunction with this application, which was prepared by Woodridge Tree Consulting Arborists Ltd, dated July 5, 2020 (see Attachment B and Figure 10). A total of 4 mature trees were assessed of which 2 are located off-site (on the neighbouring property located at 2741 McCallum Road) and 2 are located within City's ROW along McCallum Road (Figure 11). As per the report, only one of the off-site trees located at 2741 McCallum Road is recommended for removal due to the direct conflict with the proposed development.
15. The applicant has provided an Owner's Authorization Form for Tree Cutting Permit dated November 15, 2022 from the owner of 2741 McCallum Road stating that they authorize the owners of 2749 McCallum Road (subject property) to remove the offsite tree.

16. Accordingly, the removal of one tree will require the provision of replacement trees on-site or a cash contribution in lieu of replacement consistent with the Tree Protection Bylaw. The applicant has provided a landscape plan prepared by C. Kavolinas & Associates Inc. (Figure 9) proposing a total of six trees. The exact details of tree replacement/contribution will be verified and secured through the associated Development Permit.

Subdivision

17. The applicant has submitted a concurrent Subdivision application to subdivide along the common interior lot lines between the three rowhouse units (see Figure 5). The proposed RMR Zone accommodates a zero interior lot line setback for the principal residence and accessory buildings, however, a party wall agreement will be required at the time of subdivision in order to facilitate the proposed rowhouses in a fee simple configuration. The proposed subdivision complies with the minimum width and lot area for each lot under the minimum subdivision regulations contained within the RMR Zone. If the rezoning application is granted 3rd reading, the proposed three lot subdivision will be forwarded for consideration by the Approving Officer.

Community Benefit Contributions

18. Upon adoption of the 2016 Official Community, a greater and more purposeful emphasis was placed on making alternative forms of transportation such as walking, biking and public transportation delightful. Additionally, the 2016 OCP emphasized accommodating 75% of new growth in existing neighbourhoods, thereby increasing the demand on the City's existing social infrastructure including park and recreational spaces. In response, the City began negotiating the collection of Community Benefit Contributions (CBC) for residential and commercial developments at the time of rezoning. With respect to residential developments, staff has been recommending the collection of \$625 per additional dwelling unit (\$400 per unit for transit and bicycling infrastructure improvements and \$225 for park enhancements). For the subject application, the recommended CBC based on this formula is \$1,250.00.

House Demolition

19. Given that there is a concurrent Subdivision and DP applications to redevelop the subject property as a rowhouse development, the demolition of the existing house will be addressed with future approvals. Should the rezoning application be adopted the existing home will become legal non-conforming in accordance with the Local Government Act.

Site Development Considerations

20. A staff review of the Works and Services Requirements necessary to support this application has been completed and is outlined within Attachment C (dated November 22, 2021), the details of which will be incorporated into the Development Agreement, a prerequisite for the adoption of the rezoning bylaw.
21. The developer is responsible to adhere to all other legislation, which may apply to the land, including:

- a) complying with all applicable City bylaws, such as Official Community Plan Bylaw, 2016, Development Bylaw, 2011, Tree Protection Bylaw, 2010, Building Bylaw, 2016, Sign Bylaw, 2001, Erosion and Sediment Control Bylaw, 2010, and Development Cost Charges Imposition Bylaw, 2010 administered by the City; and
- b) obtaining all other necessary approvals and permits on such terms as they may be issued, including but not limited to a development permit, tree removal permit, subdivision approval, building permit, soil removal/deposit permit, Ministry of Health permit, Ministry of Transportation and Infrastructure approval and Ministry of Environment approval.

Communication Plan

If supported by Council, Bylaw No. 3335-2023, "Abbotsford Zoning Bylaw, 2014, Amendment Bylaw No. 488" will proceed to a Regular Meeting of Council, where it will be considered for first and second readings. If the development is supported by Council the Bylaw will then proceed to an upcoming Public Hearing. The City will notify, in writing, the owners and occupiers of land within a 100 meter radius of the property and copies of all correspondence received will be provided to Council. Two advertisements for the Public Hearing will be published in the City Page of the local newspaper.

The City received confirmation on August 11, 2022, that the applicant installed the required Development Notification Sign in accordance with the Development Application Procedures Bylaw, which requires the sign to be installed a minimum of 3 weeks in advance of Council's consideration of the application.

FINANCIAL PLAN IMPLICATION

No financial plan implications are anticipated. Any capital works implications arising from this application have been addressed through the rezoning process.

Komal Basatia

*Komal Basatia
General Manager, Finance and Procurement Services
Signed 1/20/2023 9:58 AM*

IMPACTS ON COUNCIL POLICIES, STRATEGIC PLAN AND/OR COUNCIL DIRECTION

The proposal meets the goals and objectives identified in the 2016 Official Community Plan, the Affordable Housing Strategy, and Council's 2019-2022 Strategic Plan which identifies four cornerstones: vibrant economy, complete community, fiscal discipline and organizational alignment. The proposal is consistent with the four cornerstones of Council's Strategic Plan.

SUBSTANTIATION OF RECOMMENDATION

Staff support the proposed rezoning to Rowhouse Residential Zone (RMR) to facilitate the development of a three unit rowhouse development given the proposal is consistent with the Urban 2 – Ground Oriented land use designation and the broad objectives of the OCP that support multifamily housing near Mixed Use Centres (in this case the Historic Downtown).

Tahir Ahmed

Tahir Ahmed
Planner
Signed 12/20/2022 3:06 PM

Blake Collins

Blake Collins
Director, Development Planning
Signed 1/19/2023 10:19 PM

Mark Neill

Mark Neill
General Manager, Planning and Development Services
Signed 1/20/2023 10:32 AM

ATTACHMENTS:

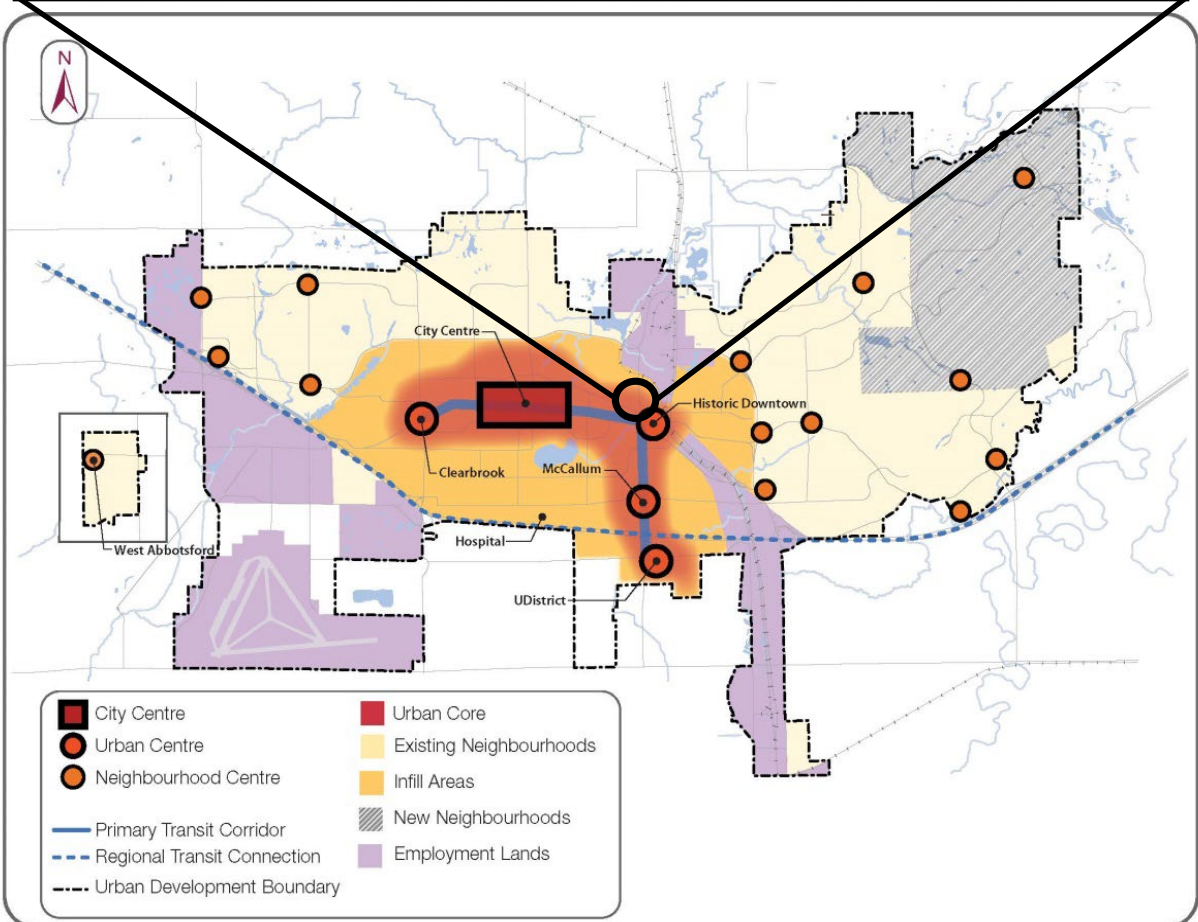
Council Figures 0-11

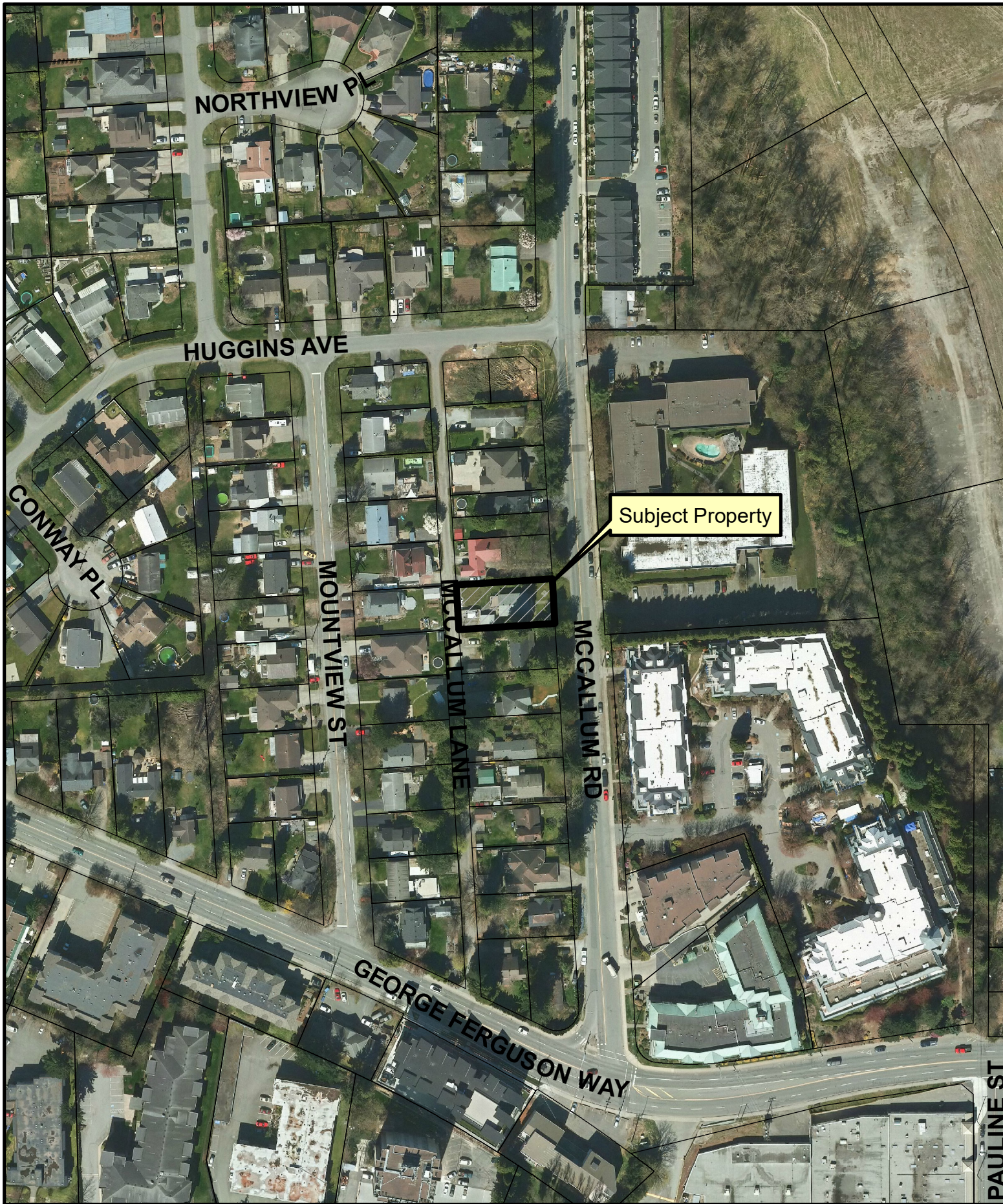
Attachment A - Draft Bylaw No. 3335-2023 Abbotsford Zoning Bylaw, 2014, Amendment No. 488

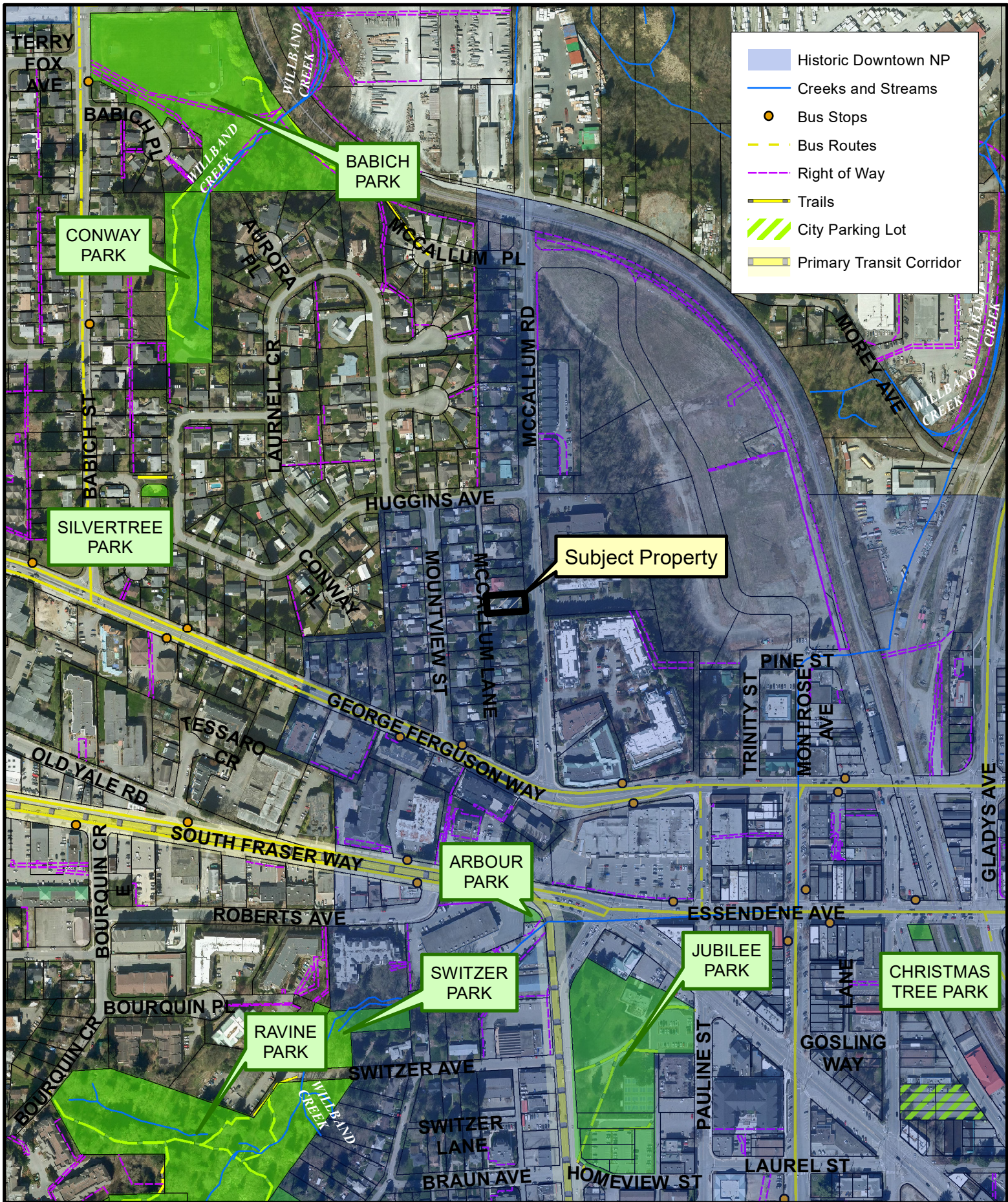
Attachment B - Arborist Report

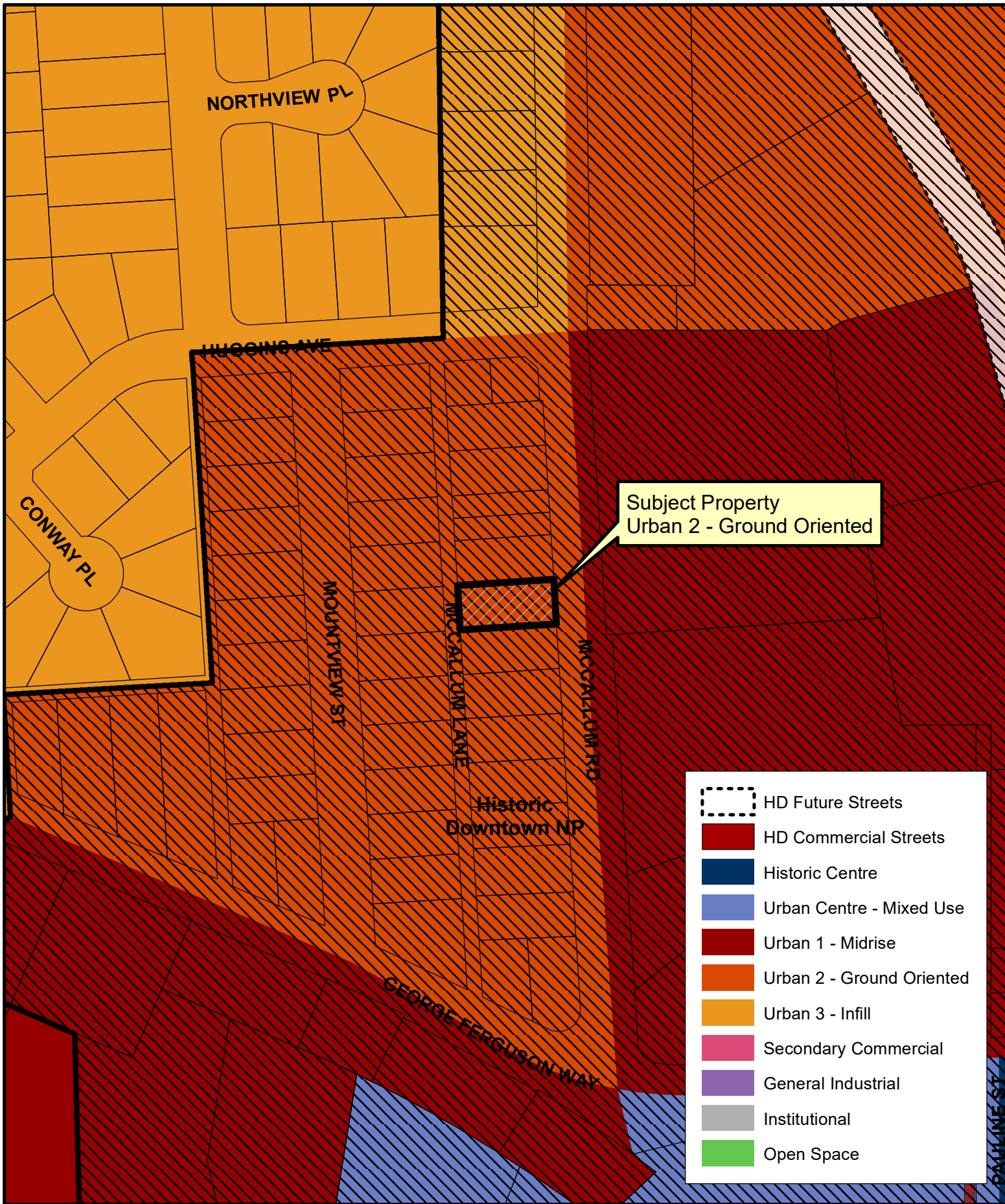
Attachment C - Works and Services Report

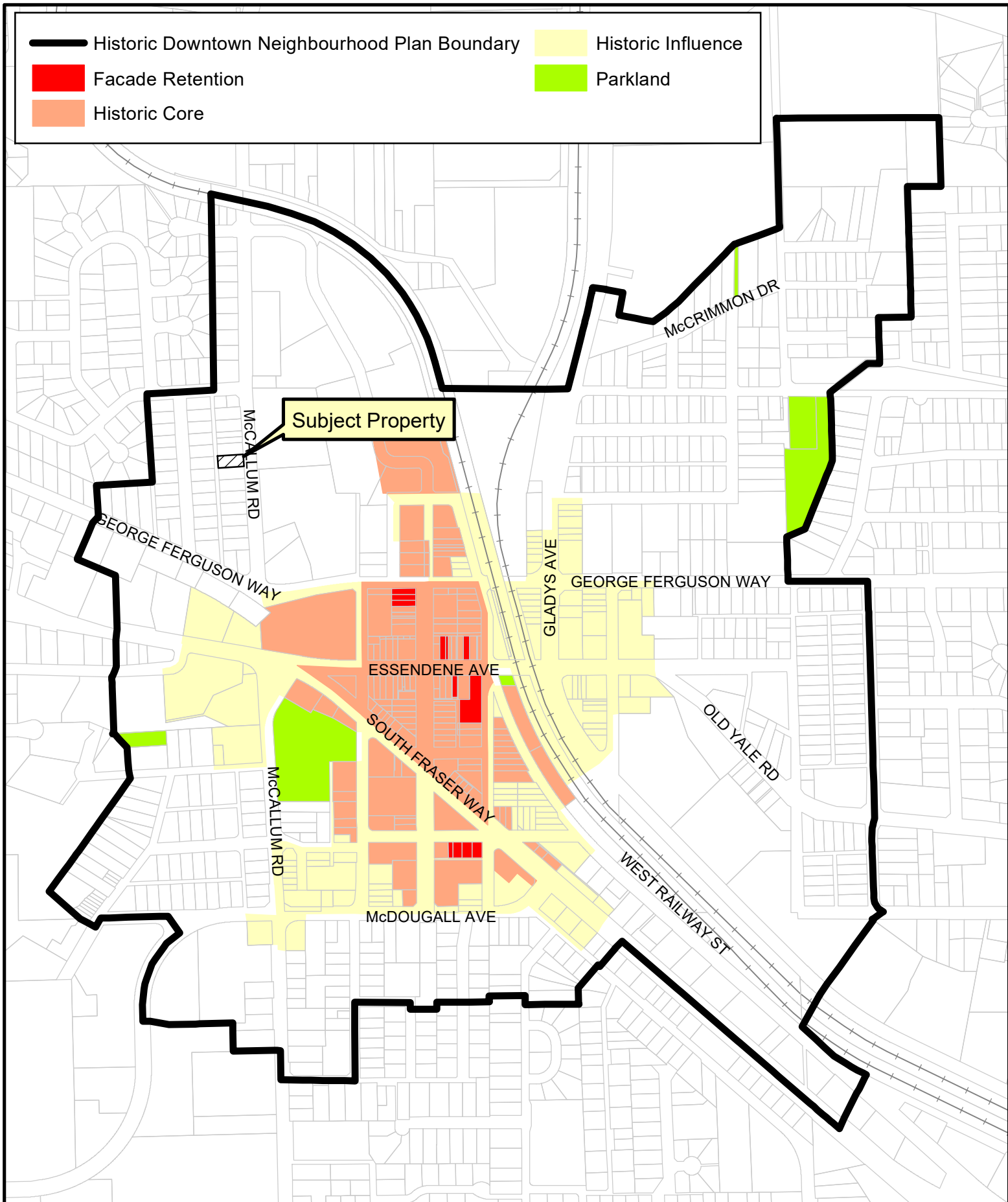
City Context Plan
File: PRJ21-091 Location: 2749 McCallum Road











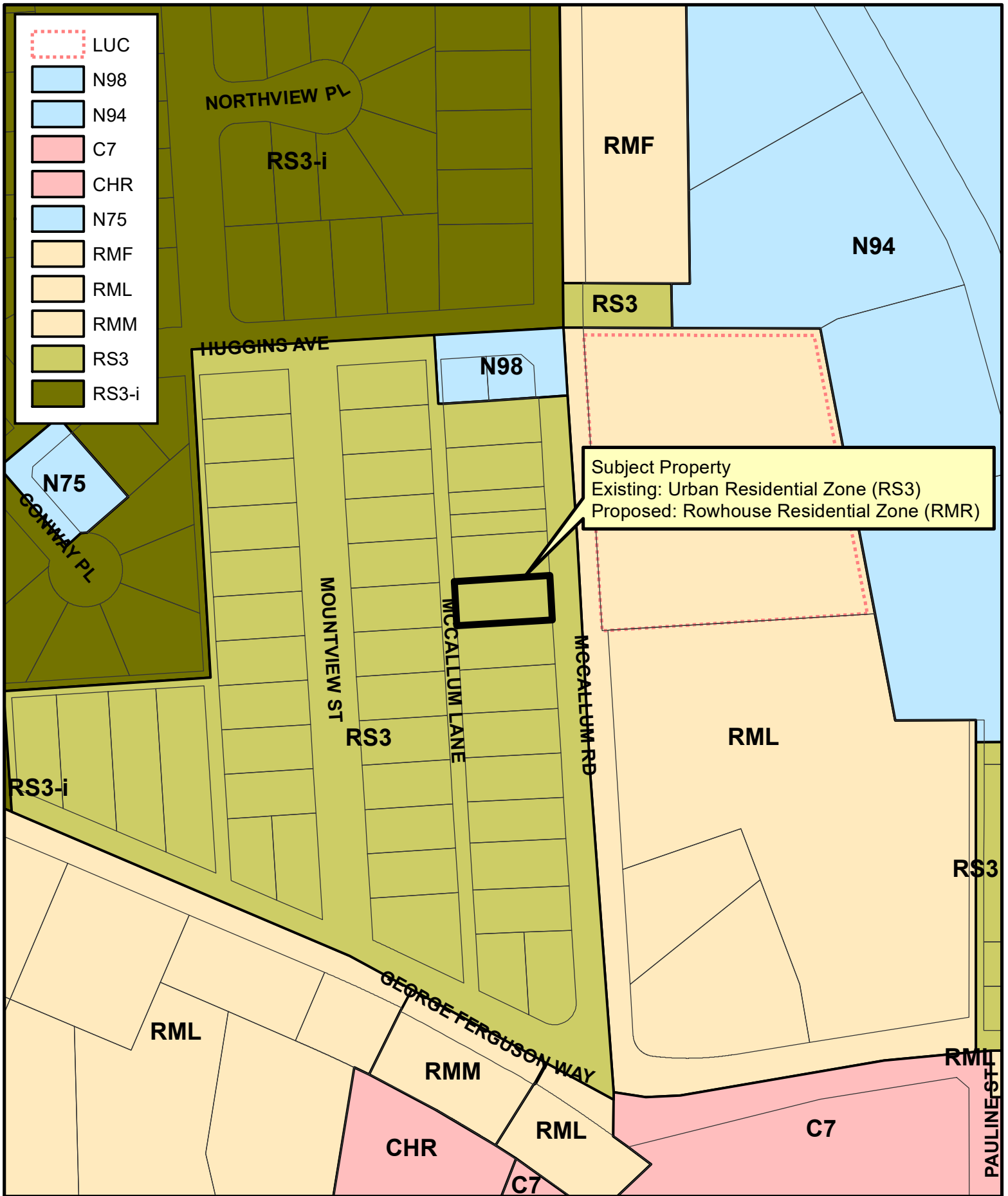
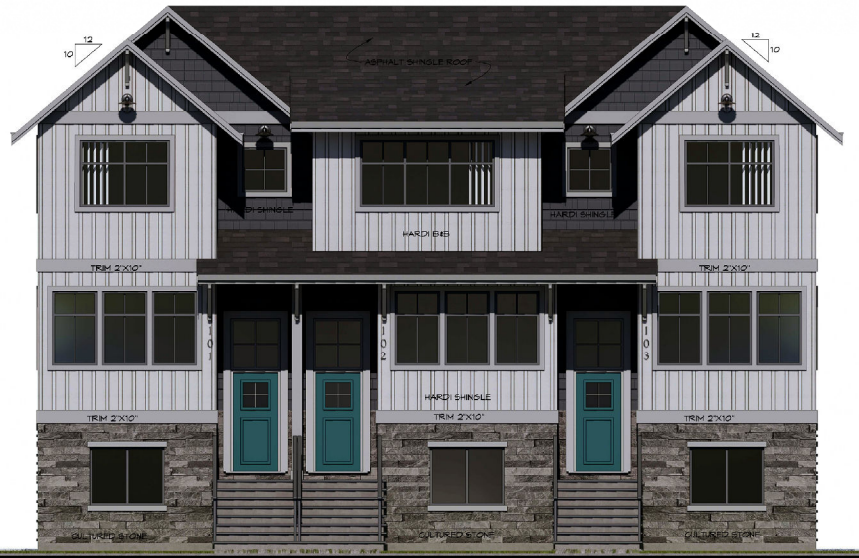
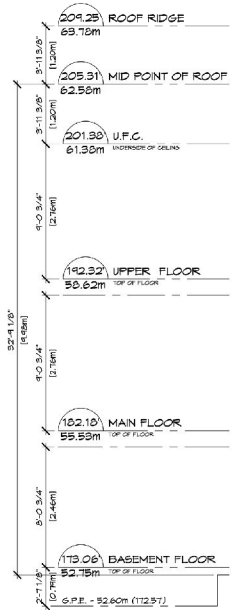




Figure 5 - Proposed Site Plan
File No.: PRJ21-091

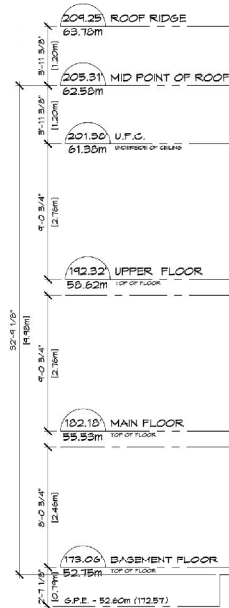


Date
11/18/2022



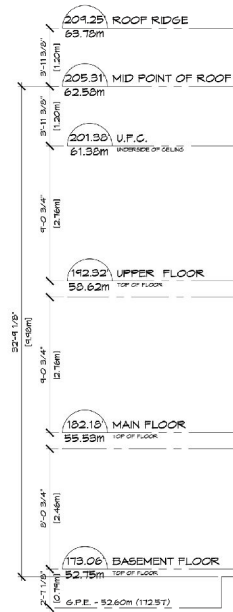
1 FRONT ELEVATION (EAST)

WALL PENETRATION
WALL AREA - 1,500.65 SQ. FT. OR 139.41 SQ. M.
FLOOR AREA - 342.46 SQ. FT. OR 31.82 SQ. M.
DOOR AREA - 60.00 SQ. FT. OR 5.57 SQ. M.
PROPOSED U.P.C. - 26.52% OR 402.46 SQ. FT.



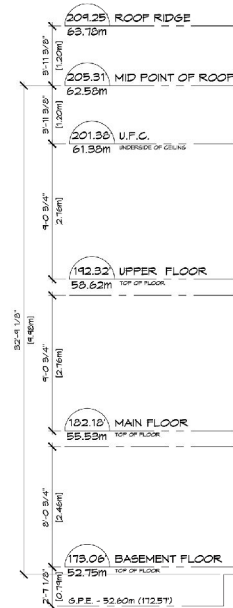
2 RIGHT ELEVATION (NORTH)

WALL PENETRATION
WALL AREA - 1,401.51 SQ. FT. OR 130.21 SQ. M.
FLOOR AREA - 71.00 SQ. FT. OR 6.57 SQ. M.
PROPOSED U.P.C. - 3.62% OR 71.00 SQ. FT.



1 REAR ELEVATION
(WEST)

WALL PENETRATION
WALL AREA = 1,500.89 SQ. FT. OR 139.41 SQ. M.
L.D. = 4.41M
MAXIMUM U.P.O. = 13.43% OR 201.93 SQ. FT.
PROPOSED U.P.O. = 12.65% OR 194.60 SQ. FT.



2 LEFT ELEVATION
(SOUTH)

WALL PENETRATION
WALL AREA = 1,401.51 SQ. FT. OR 130.21 SQ. M.
L.D. = 1.21M
MAXIMUM U.P.O. = 7.09% OR 98.77 SQ. FT.
PROPOSED U.P.O. = 5.62% OR 79.00 SQ. FT.

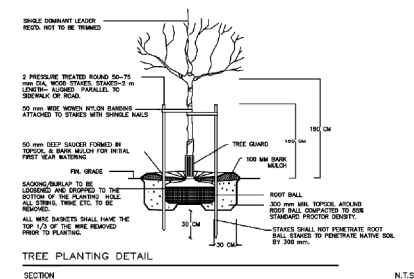
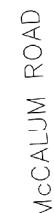
Figure 7 - Elevations (West and South)
File No.: PRJ21-091



1 VIEW 1
A-3.4 SCALE: N.T.S.



2 VIEW 2
A-3.4 SCALE: N.T.S.



The drawing consists of two parts: a cross-section labeled 'SECTION' and an elevation view labeled 'ELEVATION'.

SECTION: This view shows the vertical structure of the fence. The total height is 1800 units. The components, from top to bottom, are:

- 50x150 CAP RAIL
- 50x100 TOP RAIL
- 150x150 POST
- 50x100 SIDE SUPPORT
- 50x100 MIDDLE RAIL
- 25x300 FENCE BOARDS
- 25x25 BATTONS
- 50x100 BOTTOM RAIL

The bottom rail is supported by a concrete footing, which sits on a layer of drain rock. The ground level is indicated as 'FINISHED GRADE'. The height from the ground to the bottom rail is 150 units, and the height from the bottom rail to the top rail is 1800 units. The height from the ground to the middle rail is 1500 units.

ELEVATION: This view shows the fence from the side. The total length is 2400 units maximum, with a minimum of 1800 units. The fence is composed of vertical posts and horizontal rails. The ground level is indicated as 'FINISHED GRADE'. The fence is supported by concrete footings on a layer of drain rock. The ground is labeled 'COMPACTED FILL'.

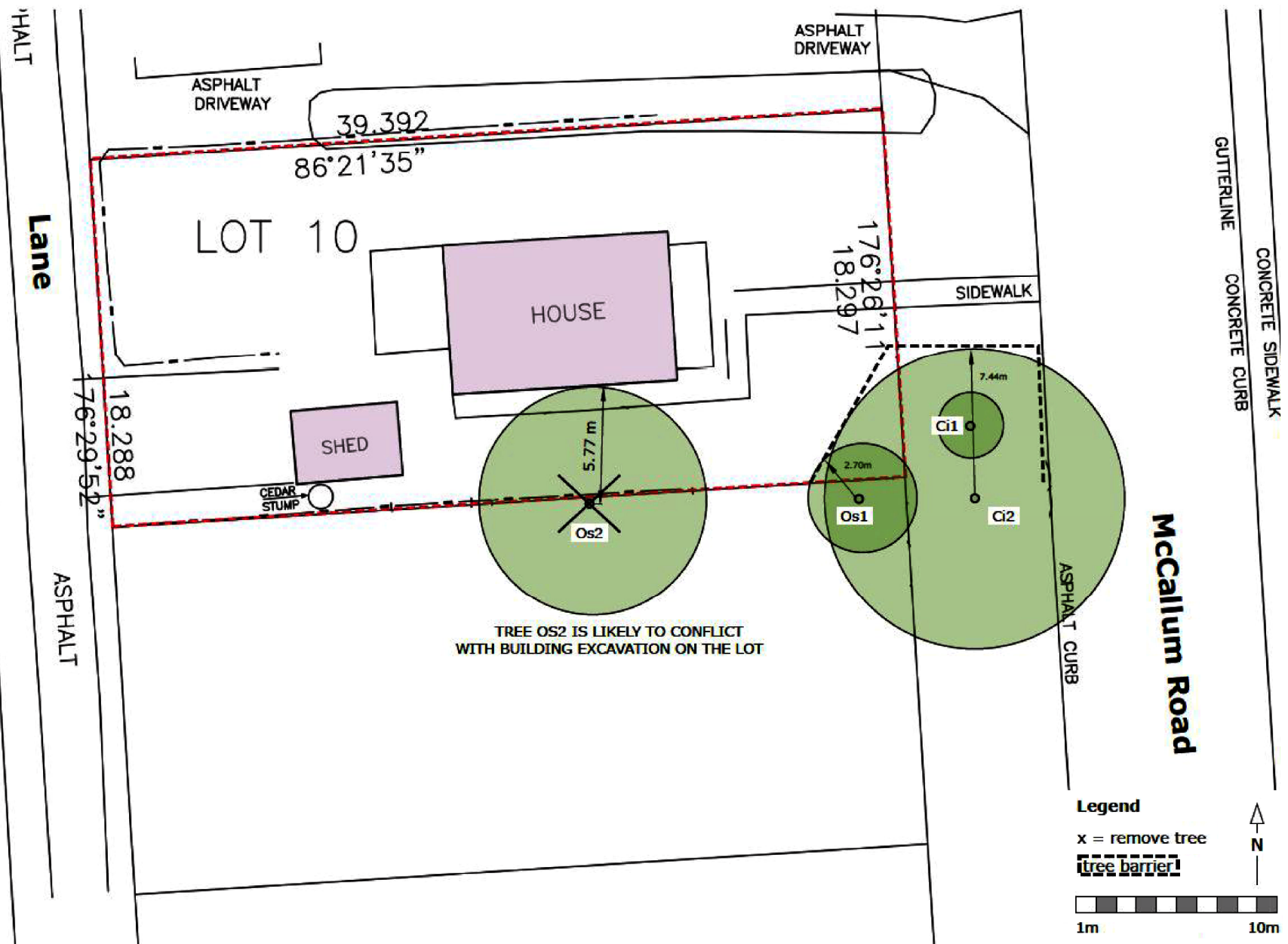


ABBOTSFORD
Planning and Development Services

Figure 9 - Landscape Plan
File No.: PRJ21-091



Date	11/18/2022
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PROPOSED 3 PLEX

2749 McCALLUM ROAD, ABBOTSFORD B.C.

Site Statistics

No. of Units = 3

Floor Space Ratio (FSR) = 1.1

Total Parking Spaces = 6

CITY OF ABBOTSFORD

ABBOTSFORD ZONING BYLAW, 2014, AMENDMENT BYLAW NO. 488

Bylaw No. 3335-2023

PRJ21-091

The Council of the City of Abbotsford, in open meeting assembled, enacts as follows:

1. CITATION

Bylaw No. 3335-2023 may be cited as “Abbotsford Zoning Bylaw, 2014, Amendment Bylaw No. 488”.

2. AMENDS ZONING MAPS

Abbotsford Zoning Bylaw, 2014, Schedule “D”, Urban Area Zoning, as amended, is further amended by changing the zoning of the lands as set out in the attached Appendix “A” and located at 2749 McCallum Road:

From: Urban Residential Zone (RS3)

To: Rowhouse Residential Zone (RMR)

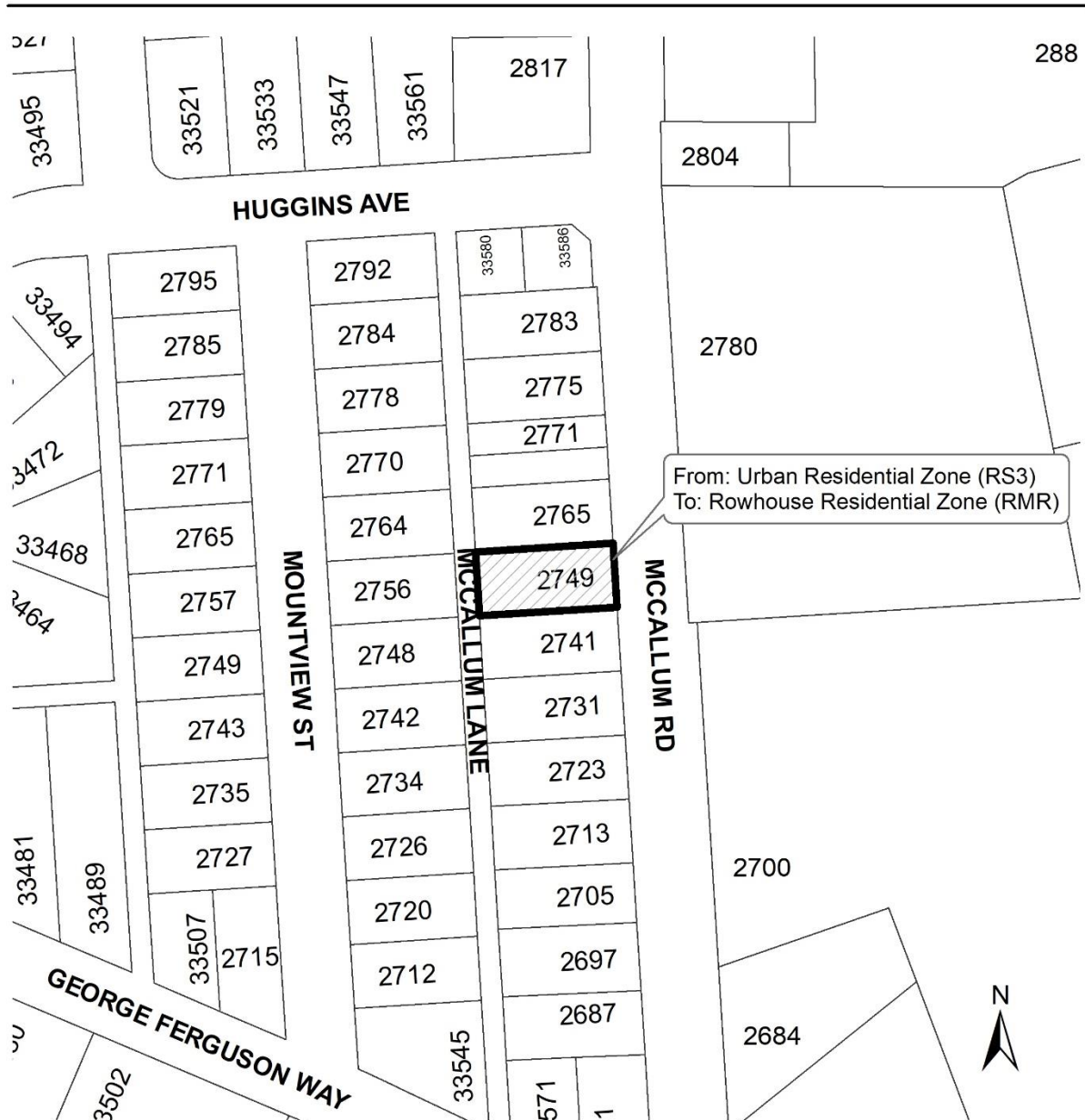
READ A FIRST TIME this	day of	, 2023
READ A SECOND TIME this	day of	, 2023
PUBLIC HEARING HELD this	day of	, 2023
READ A THIRD TIME this	day of	, 2023
ADOPTED this	day of	, 2023

CITY OF ABBOTSFORD

ABBOTSFORD ZONING BYLAW, 2014, AMENDMENT BYLAW NO. 488

Bylaw No. 3335-2023

PRJ21-091





Arborist Report

Inventory and Assessment of Trees Associated to Construction at
2749 McCallum Road, Abbotsford

July 5, 2020

Terry Thrale, Diploma for Horticulture,
International Society of Arboriculture Certified Arborist PN 6766A

Russ Vankoughnett
ISA Certified Arborist and Tree Risk Assessor PN 8330A

Assignment and Methodology

Woodridge Tree has been retained to undertake an inventory and assessment of trees associated with the demolition and construction of a house at 2749 McCallum Road, Abbotsford. The objective is to make tree preservation and protection recommendations in the context of municipal permits, rules and regulations for development.

Associated trees were visually assessed to determine species, diameter at breast height (dbh) and characteristic description. Tree diameters were measured at 1.4 meters height with a diameter tape. Protection areas were calculated for all trees within range of the property. Tree hazards were assessed according to International Society of Arboriculture standards using the TRAQ (Tree Risk Assessment Qualification) method. Recommendations for removal or retention are based on assessment outcome and proximity of trees to structure and infrastructure. Soil testing, root exploration and internal probing of tissue have not been incorporated in the findings.

The observations recorded are based on inspections performed on July 03, 2020.



aerial image of property before redevelopment

Findings

The property at 2749 McCallum Road, Abbotsford is located on the East side of McCallum Road near the intersection of Huggins Avenue. At the time of observation an old rancher style house stood on the lot. Associated trees were comprised of native conifers and ornamental deciduous species. Trees located on the subject property, City and neighbours' trees close to the property lines are considered in the findings of this report.



image of property from street at time of field data collection

Tree Inventory and Assessment

- **dbh** - Diameter at 1.4m height measured in centimeters
 - on trees with multiple stems the 3 largest sections measured at 1.4m are combined to make up the total.
- **critical root zone** = dbh x 6 unless otherwise specified
- **ci** - City owned tree
- **LCR** = live crown ratio, percentage of live crown remaining
- **os** - off site tree

ID#	Common Name	Botanical Name	DBH (cm)	LCR (%)	Canopy rad. (m)	Condition & Comments	Action	TPZ (m)
ci1	Fruit Cherry	<i>Prunus avium</i>	27	100	5.0	Multi-stem at ~12 feet, branches were previously lopped, some older water sprouts, slight lean to the north	Retain Install barriers at 1.62m	1.620
ci2	Lawson Cypress	<i>Chamaecyparis lawsoniana</i>	38+ 41+ 45= 124	80	4.5	Multi-stem at base, all 6 leaders growing leaning outwards from each other, 6th leader is dead and leaning to the west, leaders all have very large inclusions, some decay at the unions and old pruning wounds	Retain Install barriers at 7.44m	7.44
os1	Norway Spruce	<i>Picea abies</i>	45	80	4.5	Dual leader at ~12 feet, 2nd leader leans to the northwest, sapsucker damage, small lower branch dieback, shared canopy with ci2, surface roots with mechanical damage to northeast under ci1	Retain Install barriers at 2.70m	2.70
os2	Western Red Cedar	<i>Thuja plicata</i>	94	100	5.0	Dual stem at ~16 feet, trunk not visible through heavy ivy infestation, growing into a small patio cover Tree is in conflict with the proposed building construction	Remove Pending permission of the neighbour.	5.64

Summary Table

	subject property	off-site	City property
# of trees in total	0	2	2
# to be removed	0	1	0
# to be protected	0	1	0

Images



IMAGE 1 - ci2 Cypress



IMAGE 2 - ci2 numerous inclusions and small dead leader



IMAGE 3 - ci1 Cherry



IMAGE4 - os1 Norway Spruce



IMAGE 5 - os2 Western Red Cedar



IMAGE 6 - os2 heavily infested with ivy

Conclusion

Property, plans and trees have been assessed by arborist to determine tree management recommendations for construction. Those recommendations follow:

Recommended Tree Removals:

- The findings are preliminary however based on the midlot location and large size it is apparent that tree os2 will come into conflict with a new building envelope.

Recommended Tree Protection:

- Tree barriers shown on the “Tree Plan for Construction” are to be installed and kept in place during the entire duration of construction.

Limitations and Assumptions

- This report was prepared for and on behalf of the client and it is intended solely for their use. Woodridge Tree Consulting Arborists Ltd. shall not accept any liability derived from the partial, unintended, unauthorized or improper use of this report.
- This report is restricted to the subject trees as detailed in the report. No other trees were inspected or assessed as part of the work related to the preparation of this report.
- The accuracy and ownership of the locations of trees, property lines and other site features were not verified by Woodridge Tree. Third party information to the consultant may have been relied upon in the formation of the opinion of the consultant in the preparation of this report, and that information is assumed to be true and correct.
- The use of maps, sketches, photographs and diagrams are intended only as a reference for the readers use in understanding the contents and findings of this report, and are not intended as a representation of fact.
- Approvals from a municipal or senior government agency may be required in relation to certain recommendations and treatments provided in this report. The owner is responsible to make application for, pay related fees and meet all requirements and conditions for the issuance of such permits, approvals or authorizations.

I certify to the best of my knowledge or belief that:

- staff from this firm have performed site inspections on the dates as stated herein.
- the findings are based on information known to the consultant at that time.
- the statements of fact determined by the consultant are true and correct.

If there are questions regarding the contents of this report please contact our office.



Terry Thrale
ISA Certified Arborist and Tree Risk Assessor
PN 6766A
Woodridge Tree Consulting Arborists Ltd
terry@woodridgetree.com
778-847-0669

REZONING WORKS AND SERVICES REQUIREMENTS

File No:	PRJ21-091
Planner:	Tahir Ahmed, Planner
Prepared By:	Stanley de Haan, Development Technologist II
Approved By:	 2021/12/15 FOR Sarb Toor, Senior Manager, Development Engineering
Date:	November 22, 2021
Applicant:	Darren Hall, D and D Design Ltd.
Development Property:	2749 McCallum Road

The Local Government Act authorizes local governments to require development to meet current works and services standards as set out in the City's Development Bylaw and Policies.

This report includes the Works & Services **Requirements** to meet the applicable bylaws and policies and **Future Considerations** that may apply to the next phase of development.

Please have your consulting engineer call Stanley de Haan, Development Technologist II at 604-851-4175 in regard to this report and any other servicing matters relating to this application.



REQUIREMENTS

Additional dedications, SRWs, works, features or limits of construction may be needed as identified through the design and construction phases.

Drainage Collection and Disposal

On McCallum Road, along the full frontage of the Lands from the north property line to the south property line, construct a 300 mm storm drainage main system. Alternatively, direct the collected road runoff to a drywell with a capped overflow pipe, which could be connected to downstream storm sewer in the future. Design and install a drywell to infiltrate road runoff from McCallum Lane.

Provide a storm water management plan showing how onsite drainage will be accommodated through onsite infiltration for the 1 in 100-year event. If onsite infiltration is not feasible, provide a storm water management plan showing how onsite drainage will be accommodated offsite. All offsite storm water works and services including new installations and upgrades to existing offsite systems required by the storm water management plan shall be designed and constructed in accordance with said storm water management plan.

Sewage Collection and Disposal

The proposed development shall upgrade the existing 150 mm diameter sanitary main (Asset IDs 157481 and 157907) to a 200 mm diameter sanitary main and connect to it to service the development. This sewer upgrade is eligible for collecting latecomer charges if other developments in the future service to the upgraded main. (900-9-01)



Water Distribution Domestic and Fire Fighting – n/a

Highways – Dedications and Rights-of-Ways

On McCallum Road a dedication of 1.25m is required along the full frontage of the Lands from the north property line to the south property line.

Urban Roadways - Construction

On McCallum Road, along the full frontage of the Lands from the north property line to the south property line, provide \$10,705.50 (\$585/m x 18.3m) cash-in-lieu to construct half of an Urban Arterial Undivided standard road with Urban Highway design features as per Standard Drawing ES-R-7, including;

- barrier curb and gutter on the west side;
- 15.9 m wide asphalt roadway;
- 1.5 m wide concrete sidewalk on the west side;
- LED street lighting;
- Traffic signage;
- Traffic lane markings;
- soil(s) to support street trees;
- boulevard improvements on the west side; and
- associated drainage.

The above noted works are not eligible for Latecomer Charges. (900-9-01)

Urban Roadways - Construction

On the lane fronting the rear of the subject property, along the full property from the north property line to the south property line, construct full width Urban Residential Access Lane standard road with Urban Highway design features as per Standard Drawing ES-R-5.

The above noted works are not eligible for Latecomer Charges. (900-9-01)

Traffic/Pedestrian/Cyclists/Transit

Provide \$6,500 cash-in-lieu for required upgrades at the intersection of McCallum road and George Ferguson Way.

Power/Telecommunications

Service Connection:

Provide underground power and telecommunications services from the distribution system to the property line.

Existing buildings that are not being renovated may utilize existing overhead power and telecommunications services

Required Covenants, Easements and Rights-of-way

- Infiltration and/or Detention rights-of-way (PL-201)



ABBOTSFORD DEVELOPMENT ENGINEERING DIVISION

Rezoning Development Agreement Preparation Fee

Pay \$500 Development Agreement preparation fee.

Works & Services Security & Warranty Deposit

Provide as Security Deposit, the estimated construction cost plus 10% for engineering (min \$25,000) and 5% for as-constructed drawings (minimum \$15,000) in cash or letter of credit.

Administration & Inspection Fee

Pay 5% of the first \$300,000 + 3% of the remainder of the estimated construction cost for administration and inspections.

City Services Fees

Tie-in inspection fee (\$50 per inspection) for water, sanitary, and storm sewer services.

Water meters supplied, delivered, and installed by the City's Water Operations Department (per Fees and Charges Bylaw, 2006, Amendment Bylaw No. 32)

Regular Service Meter:

- Up to and including 18mm (3/4") meter	\$470.00
- 25 mm (1") meter	\$635.00

Water and sewer main connections and wet taps are supervised and/or performed by City crews at the developer's expense and payable upon invoice.

Street and traffic signs are supplied and installed by the City at the developer's expense and payable upon invoice.

Pay to energize street lights at \$50 per street light.

Latecomer Charges - receivable *Policy 900-9-01*

The Developer is required to submit an acceptable Latecomer Report prior to Latecomer Charges being enacted.

FUTURE CONSIDERATIONS

Upon further development an additional works and services review will apply related to that application. Listed below are some items to consider.

Bylaws

- the applicant is to be familiar with the Development Bylaw to ensure an understanding of possible future Works and services that may impact the development
- the applicant is to review the Works and Services identified in the Development Agreement and how they may impact the building.

Stormwater Management

- detention and infiltration will be required. Ensure that adequate room and proper placement has been reviewed.

Traffic Management

- the increase in vehicle traffic will be reviewed for its impact on the access and nearest intersections. Access may be restricted.
- road dedications, statutory rights-of-way and easements to accommodate the works and lot grading may require adjustments to the placement or size of the building.

Service Connections

- water, sanitary and storm connections may have specific tie in locations. Review and confirm locations prior to design.
- calculations related to the required domestic and fire water demand will be reviewed. There may be a service, meter or flow restrictions.
- Fire Department review may result in geometric changes to onsite roadways, additional fire hydrants, emergency access and building placement.
- Provide underground power and telecommunications services from the distribution system to the proposed building(s).

Lot Grading

- A Lot Grading Plan is required. Final lot grading shall conform to City's Lot Grading Policy and Guidelines. Any retaining walls that the Developer or Consulting Engineer consider are necessary to effectively grade the Lands to prevent negative impacts on finished neighbouring Lands, either existing or proposed, shall be constructed by the Developer. The standard "Lot Grading Covenant shall be registered against title to all proposed lots.
- Lot grading shall also provide for the collection of surface runoff and other drainage that will discharge to the City Drainage system. Lot grading may be designed to allow for surface sheet flows or collected in swales and directed to lawn basins as necessary to the satisfaction of the General Manager, Engineering. Any collection of surface flows to a concentrated point discharge location shall include provision for easements or rights-of-way across impacted Lands as necessary. All lot grading shall be designed to take care of surface flows emanating from onsite grading.

Building Permit Submissions

- In order to avoid delays in receipt of building permits, the builder shall be responsible for ensuring that building permit applications on the Lands conform to the intent of the accepted Lot Grading plan(s) prior to submission to the City.
- The developer or his designate shall review and approve building permit applications prior to submission to the City. When submitted, the building permit plans shall provide lot grading information that shall, at time of final inspection for building occupancy or approval, comply with the accepted lot grading plan or the intent of the lot grading design accepted by the General Manager, Engineering prior to construction.

Erosion and Sediment Control

All works shall be performed in substantial conformance with the City's Development By-law, the Provincial 'Land Development Guidelines' and the City's Erosion and Sediment Control Bylaw, in the control and prevention of erosion and sediment during all phases of construction. No release of silt, sediment laden waters or deleterious substances is permitted into any existing City storm or drainage system during any phase of development of the Lands.

The ESC Plan requires 4 drawings, each indicating the ESC methods for that stage of construction;

- site preparation
- site servicing
- building construction
- warranty period