



# COUNCIL REPORT

## Executive Committee

Report No. PDS 017-2023

Date: January 23, 2023

File No: 3100-35 OCP-008

To: Mayor and Council  
From: Mitchell Comb, Senior Planner  
Subject: McKee Neighbourhood Plan

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### RECOMMENDATION

1. THAT Bylaw No. 3275-2022, "Official Community Plan Bylaw, 2016, Amendment Bylaw No. 17", be given first reading at the next Council Meeting;
2. THAT, after first reading of Bylaw No. 3275-2022, "Official Community Plan, 2016, Amendment Bylaw No. 17", pursuant to Section 477(3)(a)(i) of the Local Government Act, Council consider the Bylaw in conjunction with the City of Abbotsford's Financial Plan;
3. THAT, after first reading of Bylaw No. 3275-2022, "Official Community Plan, 2016, Amendment Bylaw No. 17", pursuant to Section 477(3)(a)(ii) of the Local Government Act, Council consider the Bylaw in conjunction with the City of Abbotsford's Wastewater System Master Plan, and JAMES Wastewater Master Plan, and the Fraser Valley Regional District's Solid Waste Management Plan;
4. THAT, after first reading of Bylaw No. 3275-2022, "Official Community Plan, 2016, Amendment Bylaw No. 17", pursuant to section 475 and 476 of the Local Government Act, Council direct staff to send the Bylaw to the following entities for comment:
  - a. School District No. 34 (Abbotsford) Board of Education
  - b. Fraser Valley Regional District;
  - c. Sumas First Nation;
  - d. Matsqui First Nation;
  - e. Leq'a:mel First Nation;
  - f. Sto:lo Nation;
  - g. BC Transit;
  - h. Conseil scolaire francophone de la Colombie-Britannique;
  - i. Fraser Health; and
  - j. Ministry of Transportation and Infrastructure.
5. THAT Bylaw No. 3275-2022, "Official Community Plan Bylaw, 2016, Amendment Bylaw No. 17", be given second reading at the next Council Meeting, and be advanced to a Public Hearing on March 6, 2023.

<b>REPORT CONCURRENCE</b>	

	<b>City Manager</b>  The City Manager concurs with the recommendation of this report.
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## PURPOSE

To introduce the McKee Neighbourhood Plan, with a bylaw (No. 3275-2022) as an Official Community Plan amendment prepared for Council's consideration.

## SUMMARY OF THE ISSUE

The McKee Neighbourhood Plan (Bylaw No. 3275-2022) received first and second reading on June 13, 2022, and was scheduled for a public hearing on July 25, 2022. On the day of the scheduled public hearing it was postponed. Rationale for the postponement of the public hearing was provided in Council Report No. LLS 009-2022, dated September 26, 2022 (Attachment D). At the regular meeting of Council held on September 26, 2022, first and second readings of Bylaw 3275-2022 were rescinded, and in effect the public hearing was cancelled. Council directed staff to present Bylaw No. 3275-2022 at a subsequent meeting of the Executive Committee of Council. Staff are now introducing the McKee Neighbourhood Plan (Bylaw No. 3275-2022) for consideration of bylaw readings.

## BACKGROUND

Abbotsford's OCP, adopted in June 2016, provides a vision and a framework for how Abbotsford will grow to a population of at least 200,000. A key component of this growth is projected to take place within the New Neighbourhoods area. It is anticipated that approximately 25% of all future growth should occur within this region of the city.

One of the most important aspects of the OCP is to create neighbourhood plans for specific areas of the city that help manage and direct growth through a neighbourhood-focused planning process. These areas of Abbotsford are anticipated to see the most development and change in the future.

The McKee Neighbourhood Plan is one of the many projects initiated under the Plan for 200K initiative to implement the City's Official Community Plan (OCP). The McKee NP is the planning process that will help transform the New Neighbourhoods area of the OCP into a complete community with a vibrant neighbourhood integrated into the mountainous landscape.

On July 20, 2020, Council received the McKee NP Background Research Report and directed staff to begin Stage 2 of the neighbourhood planning process, as part of Report No. PDS 091-2020.

On February 7, 2022, Council received the McKee NP Concept Report and directed staff to begin Stage 3 of the neighbourhood planning process, as part of Report No. PDS 012-2022.

On May 9, 2022, Council received the McKee NP Draft Plan and directed staff to begin Stage 4 of the neighbourhood planning process, as part of Report No. PDS 052-2022.

## DISCUSSION



The McKee NP is being completed over a four stage planning process, which includes: Background Research, Concept, Draft Plan, and Final Plan.



Stage 1 concluded when Council received the Background Research Report. Stage 2 examined various land use options and included the preparation of a Concept plan which includes a preliminary technical analysis of infrastructure needs. Stage 3 focused on preparing the first draft of the McKee NP using findings from Stages 1 and 2. It also included a technical analysis of infrastructure needs, including a Transportation Impact Assessment. Stage 4 focused on refining the draft McKee Neighbourhood Plan, and presenting it to Council for bylaw consideration.

### **Public Engagement Strategy Completion**

Following Council's receipt of the draft McKee Neighbourhood Plan on May 9, 2022, staff conducted the final public engagement activities and stakeholder meetings to receive input on the draft plan in accordance with the Public Engagement Strategy. In order to complete the Public Engagement Strategy the following activities took place:

*Postcard mail-out:* To inform residents of public engagement opportunities postcards were mailed out to residents and property owners within the plan area.

*Let's Talk Abbotsford:* The public were able to review the draft plan and poster-boards virtually using the online platform. The virtual open house was open for two weeks, and comment forms were available so that feedback could be provided.

*Open houses:* Three open houses were held within the plan area. Two open houses were held in the evening at Auguston Traditional Elementary on May 17 and May 19, and one open house was held in the afternoon at Ledgeview Golf Course on May 18. Comment forms were available so that attendees could provide feedback.

*Stakeholder Meetings:* Staff held follow up meetings with property owners and community groups.

*First Nations Meetings:* Staff contacted local first nations and discussed the draft plan.

*Social Media and Website:* Communication was sent out to inform the public about engagement opportunities, and the website was updated.

Approximately 170 people attended the in person open houses, and 120 comment forms were submitted. 27% of responses were in support of the plan direction, which includes people saying they either 'yes, completely' or 'mostly' agreed. 31% 'somewhat' agreed with the plan direction, while 42% did not agree with the plan direction, which includes people saying they 'not really' or 'no way' agreed.

Roughly 425 comment forms were submitted through the virtual open house on Let's Talk Abbotsford. 14% of responses were in support of the plan direction, which includes people saying they either 'yes, completely' or 'mostly' agreed. 23% 'somewhat' agreed with the plan direction, while 63% did not agree with the plan direction, which includes people saying they 'not really' or 'no way' agreed.

In total 545 comment forms were submitted. 17% of responses were in support of the plan direction, which includes people saying they either 'yes, completely' or 'mostly' agreed. 25% 'somewhat' agreed with the plan direction, while 58% did not agree with the plan direction, which includes people saying they 'not really' or 'no way' agreed.

For those who were not in agreement with the plan direction their comments can be grouped into four key themes. These four themes can be summarized as retain or enhance the trail network, preserve the environment, wildlife protection, and traffic. The following table illustrates the percentage of non-support responses by theme.

Non-Support Theme	Percentage of Non-Support Responses
Retain or enhance the trail network	72%
Preserve the Environment	11%
Wildlife Concerns	10%
Traffic	8%

**\*Note** – The total percentage of non-support responses does not equal 100% as some respondents mentioned more than one theme

All comment forms and written submissions are attached for Council's information (Attachments B and C).

#### Stage 4 – Final Plan

The final McKee Neighbourhood Plan presents a vision for the neighbourhood as an outdoor adventure hub in Abbotsford. The plan takes into account the diverse interests in the land, and seeks to seamlessly integrate development into the mountainous environment, while still protecting the environment and offering ways to connect with the land and enjoy the vast outdoor recreation opportunities. Policies are proposed within the final plan that will enable the design and details of the future trail network to be collaboratively worked out with trail user groups.

Based on the input received, staff made revisions to the draft plan in the spring of 2022, and the revisions are summarized as follows:

- Commercial Streets designation moved one block north for maximum business exposure

- Minor refinements to DP guidelines and policies
- Added flexibility for infrastructure systems
- Updates to the road network section regarding classifications and required upgrades
- Removal of the phasing plan map and corresponding table, and minor refinements to phasing plan text
- A new phasing plan for securing school sites

With these revisions in place, the plan is now being introduced to Council for consideration of 1<sup>st</sup> and 2<sup>nd</sup> reading.

### **Relationship between the OCP and McKee NP**

When adopted, the McKee Neighbourhood Plan will form part of the City's OCP. As part of the OCP, the McKee NP is consistent with the overall urban structure and growth objectives, supports the policy framework and helps realize the 7 Big Ideas.

Since the adoption of the current OCP there has been a New Neighbourhoods overlay in place on both Maps 1 and 2. These maps and the corresponding New Neighbourhoods regulation found within the Land Use Plan section of the OCP have regulated all rezoning proposals within this area of the City. At the time of the McKee NP bylaw adoption the New Neighbourhoods overlay will be removed on both maps, and the corresponding regulation will also be removed. This will allow all rezoning proposals within this former area to be submitted to the City.

### **Next Steps**

Following 1<sup>st</sup> and 2<sup>nd</sup> reading, pursuant to section 477 of the *Local Government Act*, Council must consider Bylaw No. 3275-2022, "Official Community Plan Bylaw, 2016, Amendment Bylaw No. 17", in conjunction with the City of Abbotsford's Financial Plan, Wastewater System Master Plan, and JAMES Wastewater Master Plan, and the Fraser Valley Regional District's Solid Waste Management Plan.

### **Financial Plan**

The primary mechanism for funding development within the McKee NP (Bylaw No. 3275-2022) will be through developers paying for the necessary infrastructure, and supplemented with DCC's for the infrastructure identified in the DCC Program. Capital programs and senior government grants may also provide opportunities to fund infrastructure within the plan. This is consistent with the City's existing Financial Plan.

### **Waste Management Plans**

The McKee NP (Bylaw No. 3275-2022) does not amend the City's policies and targets related to solid waste and wastewater, and the McKee NP continues to meet the overall intent and direction of the 2016 OCP, and subsequent Masterplans.

### Referrals

Once this consideration has taken place, staff will undertake the referral process, pursuant to section 475 of the *Local Government Act*. These referrals will be sent out following 2<sup>nd</sup> reading. Entities that already provided comments for the postponed public hearing will be given the opportunity to update their comments. All written comments received will be provided at the public hearing.

In order to allow for the 30 day referral process, the public hearing is proposed to be scheduled for March 6, 2023. This will be followed with Council's consideration of third and final reading.

### Public Hearing Correspondence from July 25, 2022

All correspondence received from the postponed public hearing scheduled for July 25, 2022, will be made available for Council's consideration just prior to the scheduled March 6 public hearing, and will form part of a complete public hearing package that will be provided to Council.

### **FINANCIAL PLAN IMPLICATION**

The McKee Neighbourhood Plan has a project budget of \$771,000. \$580,000 has been spent on the project to date. An action item outlined in the plan is to complete a McKee Trail Future Study. Staff anticipate this work to be approximately \$75,000.00. This will be included in a future budget amendment request.

*Komal Basatia*

Komal Basatia  
General Manager, Finance and Procurement Services  
Signed 1/23/2023 12:09 PM

### **IMPACTS ON COUNCIL POLICIES, STRATEGIC PLAN AND/OR COUNCIL DIRECTION**

The McKee Neighbourhood Plan will help achieve and implement the vision set out in Council's Strategic Plan and Official Community Plan.

### **SUBSTANTIATION OF RECOMMENDATION**

On May 9, 2022, Council received report PDS 052-2022 containing a draft of the McKee Neighbourhood Plan. Council directed staff to complete the public engagement strategy and prepare a bylaw for Council's consideration. The engagement process was completed last spring, and due to the postponed public hearing, staff are now introducing the McKee Neighbourhood Plan bylaw for Council's consideration of 1<sup>st</sup> and 2<sup>nd</sup> reading.

*Mitchell Comb*

Mitchell Comb  
Senior Planner  
Signed 1/18/2023 11:07 AM

**ATTACHMENTS:**

**Attachment A - Bylaw No. 3275-2022 Official Community Plan Amendment Bylaw No. 017**

**Attachment B - Let's Talk Abbotsford Virtual Open House Comments**

**Attachment C - Open House Comments and Emails / Letters**

**Attachment D - LLS 009-2022, McKee Neighbourhood Plan Update**

**Attachment E - Stage 4 Council Presentation**

CITY OF ABBOTSFORD

OFFICIAL COMMUNITY PLAN BYLAW, 2016, AMENDMENT BYLAW NO. 17

Bylaw No. 3275-2022

3100-35 OCP-008

The Council of the City of Abbotsford, in open meeting assembled, enacts as follows:

1. CITATION

Bylaw No. 3275-2022 may be cited as “Official Community Plan Bylaw, 2016, Amendment Bylaw No. 17”.

2. ADDS MCKEE NEIGHBOURHOOD PLAN

Bylaw No. 2600-2016, cited as “Official Community Plan Bylaw, 2016”, as amended, is further amended by adding a new schedule “E”, McKee Neighbourhood Plan, as set out in the attached Appendix “A” and Appendix “B”.

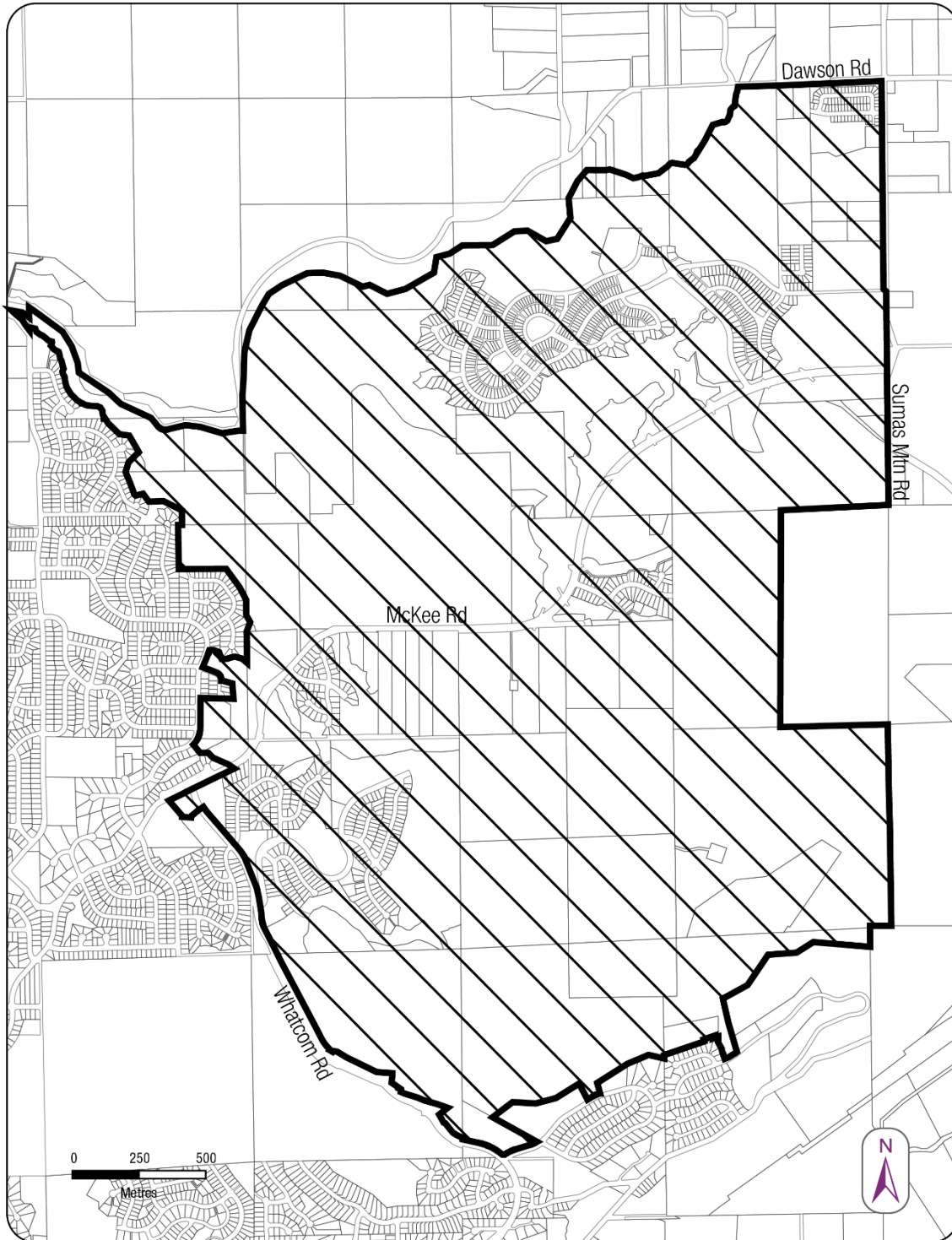
3. AMENDS SECTIONS

Bylaw No. 2600-2016, cited as “Official Community Plan Bylaw, 2016”, as amended, is further amended as follows:

- (a) Part II [Land Use Plan] is amended by repealing “New Neighbourhoods” in its entirety;
- (b) Part IV [Make the Plan Work] Section 3 [Neighbourhood Plans] is amended by adding “Schedule ‘E’ – McKee Neighbourhood Plan (Bylaw 3275-2022)” after “Schedule ‘D’ – Historic Downtown Neighbourhood Plan (Bylaw 2920-2019)”.
- (c) Part VII [Maps], Map 1 [Urban Land Use] is amended by removing the New Neighbourhoods Hatching Overlay and adding the McKee Plan Boundary, as set out in the attached Appendix “C”;
- (d) Part VII [Maps], Map 2 [Rural Land Use] is amended by removing the New Neighbourhoods Hatching Overlay and adding the McKee Plan Boundary, as set out in the attached Appendix “D”;
- (e) Part VII [Maps], Map 3 [Neighbourhood Plans] is amended by adding the McKee Plan Boundary as set out in the attached Appendix “E”.

READ A FIRST TIME this	13 <sup>th</sup> day of	June, 2022
READ A SECOND TIME this	13 <sup>th</sup> day of	June, 2022
RESCIND SECOND READING this	26 <sup>th</sup> day of	September, 2022
RESCIND FIRST READING this	26 <sup>th</sup> day of	September, 2022
REREAD A FIRST TIME this	day of	, 20<>
REREAD A SECOND TIME this	day of	, 20<>
PUBLIC HEARING HELD this	day of	, 20<>
READ A THIRD TIME this	day of	, 20<>
ADOPTED this	day of	, 20<>

APPENDIX "A"  
McKEE PLAN BOUNDARY

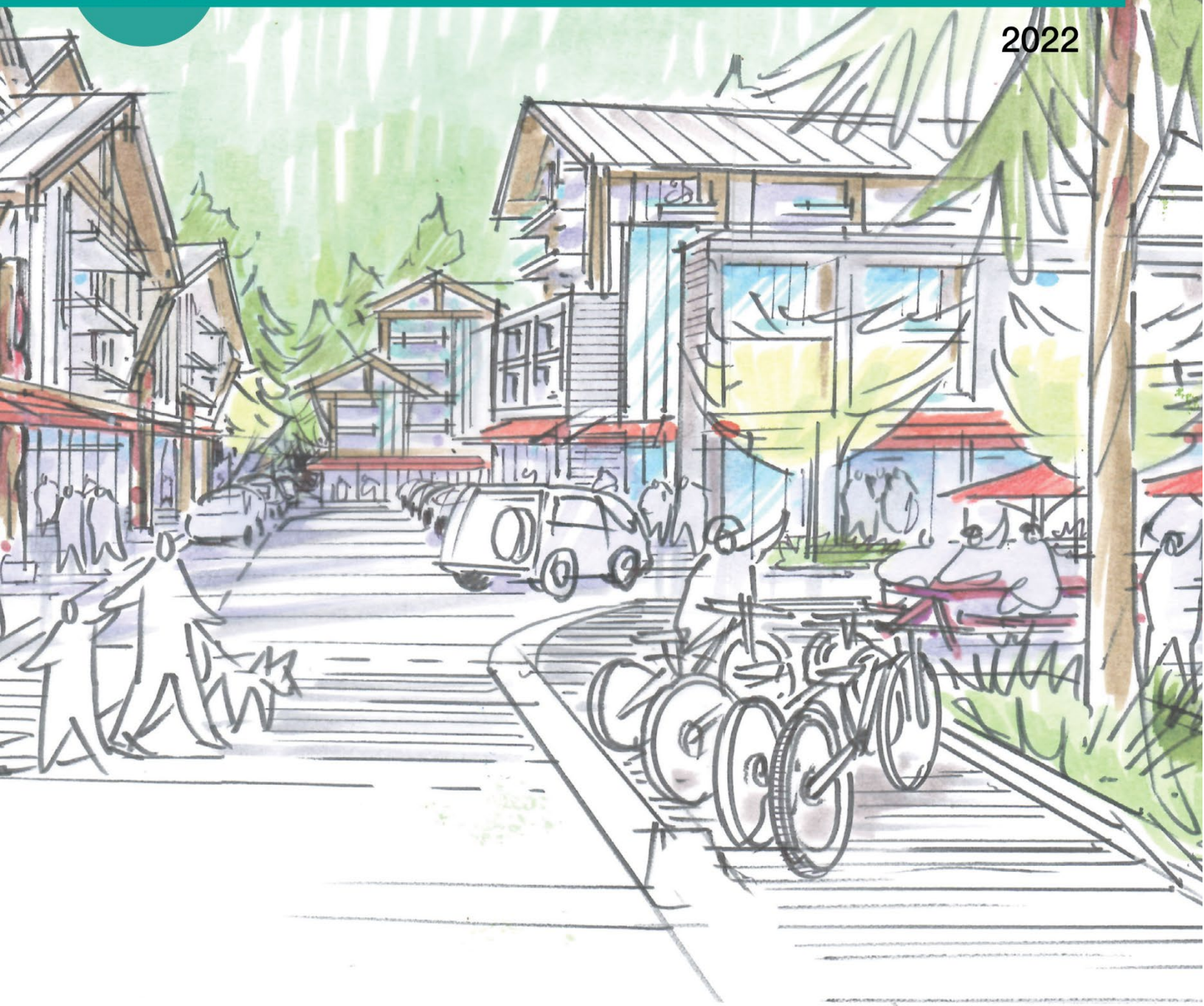






## McKEE NEIGHBOURHOOD PLAN

2022







## HOW TO USE THIS PLAN

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The McKee Neighbourhood Plan has been created to comprehensively facilitate the development process in the neighbourhood. It is intended to be used by everyone who is interested in the growth and development of this neighbourhood within the City of Abbotsford. The Plan has been organized to allow the user to easily find information most pertinent to their interest, or to sequentially read the entire document.

**CITY COUNCIL** should use this plan to guide decision-making for the neighbourhood.

**NEIGHBOURHOOD RESIDENTS AND BUSINESSES** should use this plan to understand the long-term vision for McKee, and to gain an understanding of how the neighbourhood will change over the coming years.

**DEVELOPERS** should use this plan to determine the phasing, allowable uses, building form and densities in order to understand where and what type and scale of development may occur within the neighbourhood. The Plan also provides an understanding of the public realm, and the developer's role in its creation through the funding and installation of infrastructure.

**CITY STAFF** should use this plan with a lens to each department's responsibilities:

**PLANNING** should use the plan to guide form and density through zoning, public space integration; and, character and urban design.

**ENGINEERING** should use the plan to guide utility servicing, road construction, and related street infrastructure and upgrades.

**PARKS, RECREATION, AND CULTURE** should use this plan to guide park, trail, recreation, culture, and amenity space creation, and required upgrades to the public realm.

**HOUSING** should use this plan to guide housing policy and project development.

**FIRE RESCUE SERVICE** should use this plan to guide fire hall planning and wildfire prevention in this forested area.





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Figure 12 – Let's Talk Abbotsford User

Figure 19 – Christoph Bayer, [www.enduro-mtbs.com](http://www.enduro-mtbs.com)





## **PART 1 INTRODUCTION AND VISION**

**CONTEXT AND EXISTING CONDITIONS**

**PURPOSE AND SCOPE**

**PLAN PROCESS**

**MCKEE NEIGHBOURHOOD VISION**







## CONTEXT AND EXISTING CONDITIONS

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### History

Long before Abbotsford existed as a community and Canada as a country, the Stó:lō (people of the river) occupied the land called S'ólh Téméxw in the Fraser Valley. They lived in this large geographic area from Yale to Vancouver and spoke Halq'eméylem, also known as the upriver dialect. The Fraser River, its tributaries and fertile lands continue to be essential to the Stó:lō way of life. While Abbotsford may be a young city, the land on which it is built is steeped in history, including Sumas Mountain and McKee Peak.

### Context

The McKee neighbourhood is located in the largely undeveloped, mountainous northeastern corner of Abbotsford, identified in the Official Community Plan as the New Neighbourhoods. Approximately 842 hectares in size (2,080 acres), this area covers a lot of topography, and for those who frequent this area they know of its natural beauty and spectacular views in all directions. The rugged forested terrain is traversed by numerous streams, which provide habitat for a number of species of wildlife. Many of these species reside locally within the plan boundary, while others migrate through the area moving further up into the reaches of Sumas Mountain. For Local First Nations, this area is a place of deep cultural and spiritual significance, and preservation of key features of the landscape is of utmost importance.

### 2016 OCP

The 2016 Official Community Plan envisions Abbotsford as a city of distinct and increasingly complete neighbourhoods rich with public life. The City's cherished trails and natural areas are protected for generations to come, and the quality of our air, water and parks improve each year. It envisions Abbotsford with more affordable housing options, where people can stay in their neighbourhood as they age.

The New Neighbourhoods were introduced in the OCP to facilitate phased development that would ensure details relating to infrastructure, environment, and land uses can be coordinated and implemented in a cost efficient manner. The McKee Neighbourhood Plan is the neighbourhood planning process that will help transform the New Neighbourhoods area into a complete community with a vibrant neighbourhood that is integrated into the natural mountainous landscape.

### McKee Neighbourhood Plan

Drawing the boundary for the McKee Neighbourhood Plan area took into consideration natural features such as topography, drainage catchments, watercourses, and man-made features such as Whatcom and Sumas Mountain Roads. The northern and eastern borders are framed by the Urban Development boundary and flanking the eastern border of the plan are existing gravel quarries and an oil terminal. The plan area is approximately 769 hectares in size or 1901 acres. The plan boundary differs from the New Neighbourhoods area, in that the western portion of the Vicarro Lands (west of Whatcom Road) have been excluded from the plan area, and City owned lands south of Straiton Road within the Clayburn Creek ravine have been included. The western section of the Vicarro lands are geographically separated from McKee Peak, and their drainage catchment and Whatcom Road physically reinforce this divide. These lands are an extension of Eagle Mountain. On the other hand, the portion of Clayburn Creek ravine forms an integral component of the greater drainage for all of the lands in between Clayburn Creek and McKee Road, and is topographically connected.



## McKee Today

### Population and Demographics

The current population living within the McKee Neighbourhood plan boundary is approximately 4,600 people. This is predominantly comprised of residents living within the Auguston and Highlands neighbourhoods. The population is housed within 1,193 dwelling units (including registered suites), and the average household size is comprised of 3.3 persons per dwelling unit. Housing stock within the plan boundary is relatively new, as 87 percent of the dwellings are built in the last approximate decade and a half (2000 to 2016). The remaining 13 percent of the dwellings were constructed from a period spanning 1980 to 2000. Median age for the area is relatively younger than the rest of the city. In Abbotsford the median age is 39 years old, while currently within the McKee NP, the median age is roughly 35 years old.

Total median household income is relatively high within the plan area compared with the rest of the City. The total median household income within the McKee NP is \$122,400, while the total median household income for the entire City is \$72,500.

### Schools, Parks and Trails

Within the plan area there is one existing elementary school. Auguston Traditional Elementary School provides elementary age children within the Auguston area with educational services, while Middle and Secondary age students travel outside of the McKee area to Clayburn Middle School and Robert Bateman Secondary School.

Currently there are six neighbourhood parks within the area. A portion of Lower Sumas Mountain Park is also found within the plan boundary. The six neighbourhood parks are as follows:

- Atwood Park
- Callaghan Park
- Mathers Park
- McKinley Park
- Shadbolt Park
- Tom Thomson Park

There are a few City trails located within the plan area, and they are mostly located within the Clayburn Creek Ravine. Many informal trails are also found on McKee Peak and are used extensively. During Stage 2, City staff conducted a technical analysis to understand what areas within the plan could be used for trails. Many of the areas examined coincide with areas that currently have informal trails in place.



## PURPOSE AND SCOPE

### Official Community Plan

In 2016, the City of Abbotsford Council adopted a new and progressive Official Community Plan (OCP) through a process called 'Abbotsforward'. The new OCP paints a picture of what Abbotsford will be like at 200,000 residents. The Plan reflects a turning point for the City as it aims to implement change in the face of significant challenges and tough choices.

The 2016 OCP identifies seven big ideas that shape policy and comprise the most essential and transformative directions that aim to bring the vision of Abbotsford to life. The Seven big ideas are as follows:

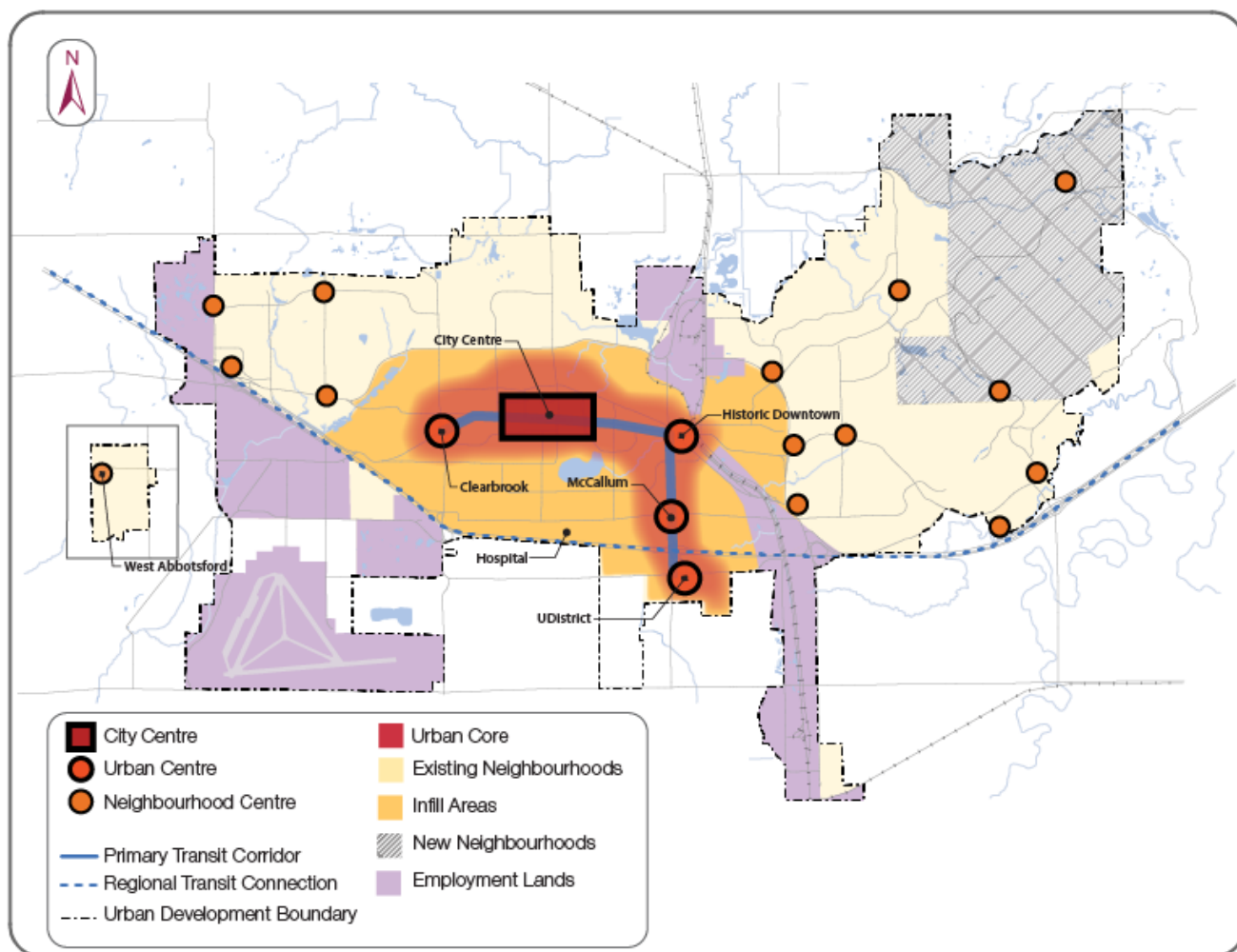
Figure 1. Seven Big Ideas – 2016 OCP



### Urban Structure and Growth Plan

The OCP provides clear guidelines about how and where the City will grow in coming years. Abbotsford's urban structure is defined by a hierarchy of mixed-use centres which are connected by a primary transit corridor that intensifies over time. Most of the future growth within the city will occur within existing neighbourhoods (75%), while the remaining 25% will occur within the New Neighbourhoods area (see Map 1). Within the life of the OCP the City is anticipated to add another 60,000 people, and this equates to approximately 15,000 new residents locating within the New Neighbourhoods.





Map 1. Urban Structure



## Plan Process



Figure 2. Four-Stage Planning Process

**Stage 1** analyzed current conditions in the neighbourhood to better understand the necessary tools and priorities to create vibrant new neighbourhoods within the McKee Neighbourhood Plan. The Background Research Report was presented to Council on July 20, 2020.

**Stage 2** focused on exploring options and preparing a Concept. This was done through a broad engagement process framed by the planning issues and feedback identified in Stage 1. It also included a preliminary technical analysis of infrastructure needs. The Concept Report was presented to Council on February 7, 2022.

**Stage 3** focused on preparing the first draft of the McKee Neighbourhood Plan using findings from Stages 1 and 2. It included a technical analysis of infrastructure needs as well as a complete Transportation Impact Assessment. Following a presentation to Council introducing the draft plan on May 9, 2022, this stage will conclude after draft plan engagement has been undertaken by staff.

**Stage 4** is the final stage of the McKee Neighbourhood Plan process. During this stage, a Neighbourhood Plan bylaw was presented to Council and underwent a bylaw adoption process, which included referrals to appropriate government entities and a public hearing.

## Community Engagement

Important engagement activities over the course of the McKee NP process for residents were held during stage 2, and substantial engagement will occur during Stage 3 after the draft plan is presented to Council. Throughout all of the stages, one-on-one meetings with property owners, local organizations, and the development community will ensure stakeholders are given the opportunity to contribute in a meaningful way to the McKee NP.

**Stage 2** engagement consisted primarily of online engagement through Let's Talk Abbotsford. Residents were given the opportunity to participate in a Q & A, a questionnaire, and an interactive mapping exercise. These responses informed the direction of the Concept Report.

Additionally, there were landowner meetings to discuss the preliminary infrastructure and proposed land uses. In



Figure 3. In-person Design Workshop



October 2021, an in-person design workshop was held to learn more about stakeholder's vision for the neighbourhood and incorporate ideas into the Concept Report.

**Stage 3** engagement included a Let's Talk Abbotsford Q & A, landowner and stakeholder meetings. Landowners were able to provide feedback on the Concept Report. Trail user groups and environmental organizations also contributed to conversations concerning their priorities for the Draft Plan. First Nations input has also informed the draft plan.

After presenting the draft McKee Neighbourhood Plan to Council, staff introduced the document to the broader community and key stakeholders. The Let's Talk Abbotsford online platform and a few open houses held within the plan area allowed residents to interact with the draft Neighbourhood Plan and provide feedback. Meetings with key stakeholders such as property owners and community groups also took place.

**Stage 4** is the final stage of the planning process and engagement took the form of referrals being sent to the appropriate government entities. Additionally, a public hearing was held to hear any concerns from the public.

## Plan Objectives

The following objectives have been established to guide the McKee Neighbourhood Plan over its four-stage process. These objectives inform the Neighbourhood Plan process, and the Plan goals.

- Undertake a targeted & inclusive community engagement process.
- Integrate the Neighbourhood Plan with a servicing strategy which includes orderly phasing of development.
- Add detail to the OCP's land uses to support a range of predominantly ground oriented housing options which complement the rugged topography.
- Develop design standards and guidelines that contribute to an attractive and unique Neighbourhood Centre which integrates with the mountainous landscape.
- Provide adequate school sites within the plan area to allow School District 34 the ability to meet the educational needs of future students.
- Develop an integrated and connected park and trail network which encourages walking, and both on and off road cycling as viable transportation modes, while maintaining the natural ambience of the mountain environment.
- Protect important cultural heritage sites by discouraging public access and locating trails away from important sites.
- Ensure protection of environmental features, ecosystems and biological diversity, and provide species at risk the ability to migrate safely through the neighbourhoods into the greater Sumas Mountain area.





## Plan Goals

These goals provide the building blocks of the vision and the objectives, forming the foundation of the McKee Neighbourhood Plan. Together, these goals work together to inform the policies of this plan, to guide the neighbourhood as it grows and develops.

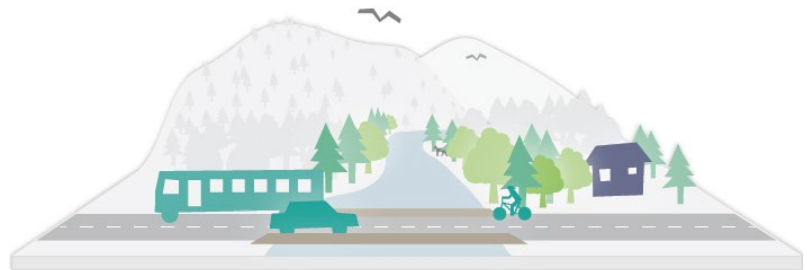
### Enhance Outdoor Recreation:

Design a neighbourhood that will enhance the existing outdoor recreation network on the mountain. This includes determining the land available for outdoor recreation, exploring opportunities for partnerships, and encouraging the McKee Village to cater to outdoor recreation needs.



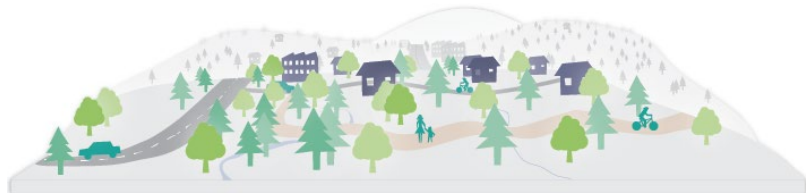
### Work with the Land:

Create policy that will protect the natural environment, respect the mountain's topography, and ensure that the McKee Village is human-scaled.



### Finding a Balance:

There is space for homes, shops, trails, and natural areas in the McKee neighbourhood. This plan should find a balance between these diverse needs.



### Adaptive Neighbourhoods:

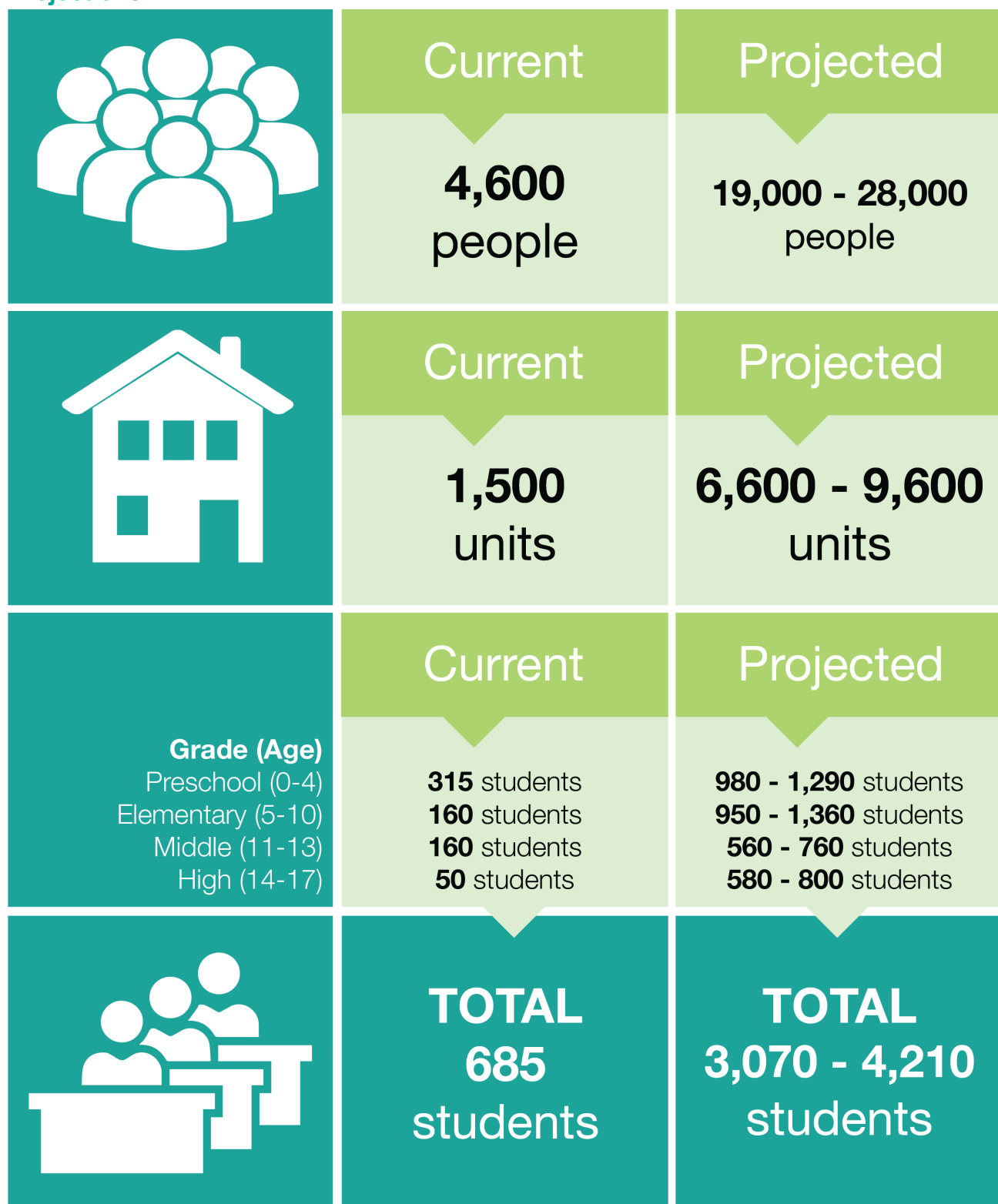
Creativity will be needed to design a neighbourhood with homes, schools, parks, trails, and commercial areas on a mountain. Challenges unique to McKee will require unique solutions and adaptability.



Figure 4. Plan Goals



## Projections



Statistics Canada data - Abbotsford 2016

Figure 5. Population Projections





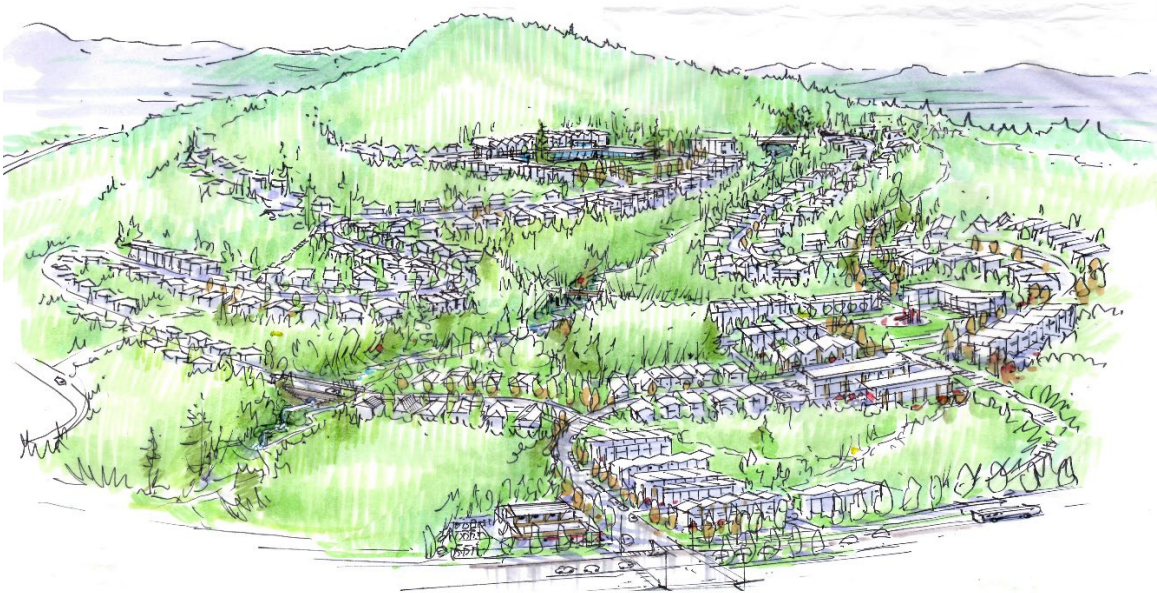
## MCKEE NEIGHBOURHOOD VISION

*The McKee neighbourhood is the outdoor adventure hub in Abbotsford, where a mindful balance unifies the diverse interests in this land. Neighbourhoods are seamlessly integrated into the mountain, which continues to be a place of deep cultural and spiritual significance to local First Nations. Trails meander between forests and streams, protecting the environment and offering ways to connect with the land and enjoy the vast outdoor recreation opportunities. Residents and visitors will emerge from the forest on foot or bike into the McKee Village to meet up with friends, shop for daily needs, and experience a vibrant village-like setting that celebrates the mountainous landscape.*

**Figure 6. Concept Renderings – McKee Neighbourhood Vision**







**Note:** drawings are conceptual and for illustrative purposes only.





## PART 2 LAND USE

NEIGHBOURHOOD STRUCTURE

LAND USE DESIGNATIONS





## NEIGHBOURHOOD STRUCTURE

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### Land Use

The neighbourhood structure (Map 2) is comprised of a residential neighbourhood branching off from McKee and Whatcom Roads. Residential development, including land for schools and parks, will be focused in the identified development cells. Density will be concentrated near school and park sites for accessibility and usability. Land that cannot be developed will be transferred to the City and designated as Open Space to be used for a green network through the plan area.

The heart of the new neighbourhood will be the McKee Village, south of McKee Road across from Blauson Boulevard. The McKee Village will be comprised of buildings up to 6-storeys in height that complement the outdoor recreation theme and the mountainous terrain. Residents will be able to meet their daily commercial needs in the McKee Village, while also experiencing a unique outdoor recreation focused public space that is accessible by diverse forms of transportation.

A proposed location for a future fire hall site has been identified in anticipation of the residential growth of the neighbourhood. This location was identified in alignment with the Fire Rescue Services Master Plan.

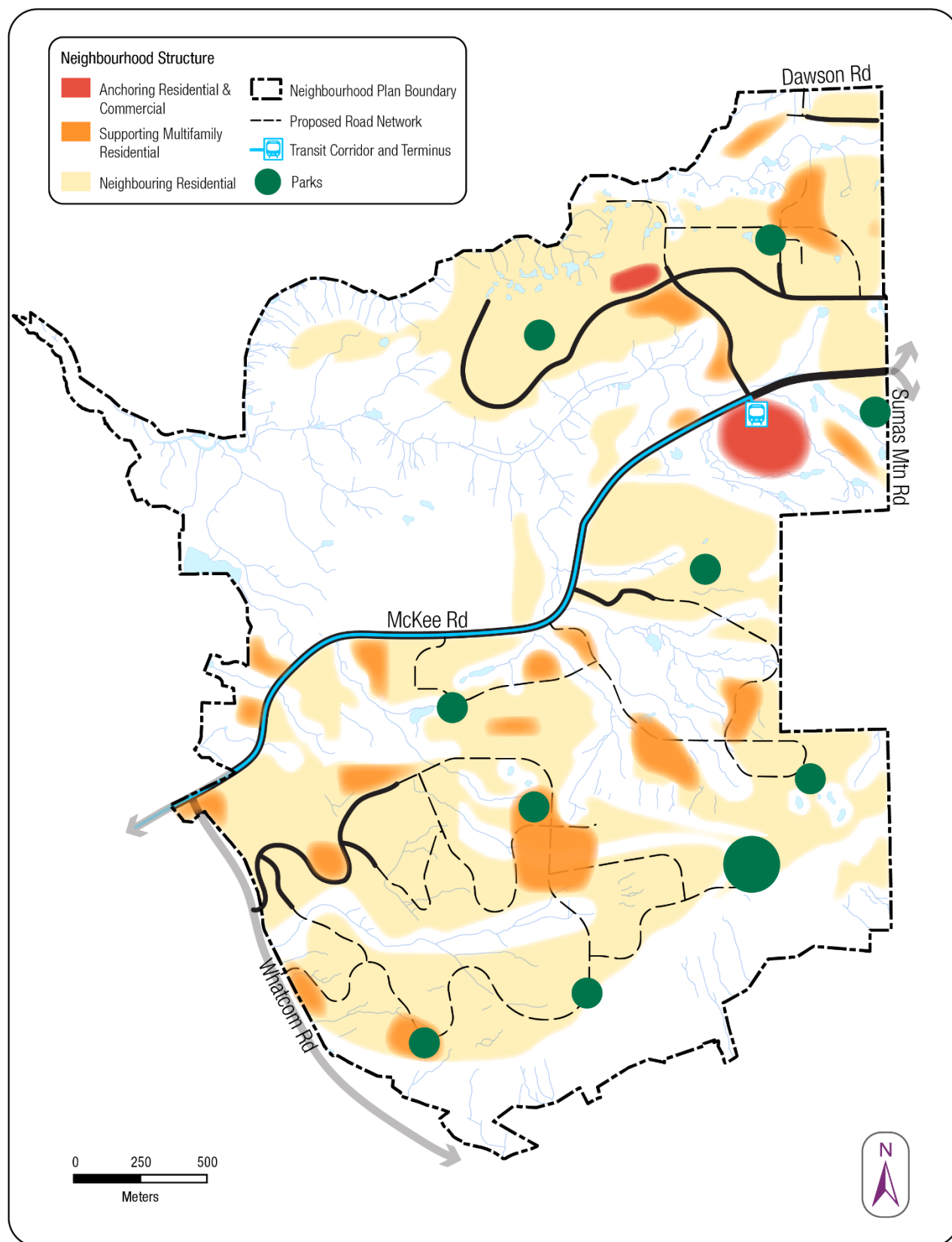
### Mobility

Transportation in McKee will be accommodated for private vehicles, public transportation, and on and off road pedestrians and cyclists. The McKee Village will host the new transit terminus, to provide convenience for the most residents in this mountainous environment. Streets will be designed to accommodate grade changes and winding roads to create a safe environment for everyone on the mountain. Where roads cannot link key neighbourhood destinations due to challenging mountainous topography, the trail network will provide connections for pedestrians and cyclists as a safe and convenient way to get around.

### Open Space

The Open Space network is the highlight of the neighbourhood, comprised of environmentally sensitive areas, geotechnical risk areas, and parkland. This network will be a space for wildlife to thrive, hikers and mountain bikers to explore, and for natural vegetation to be protected. It is intended to function as a corridor to connect key destinations in the neighbourhood, while providing a mountain experience for residents and visitors alike.





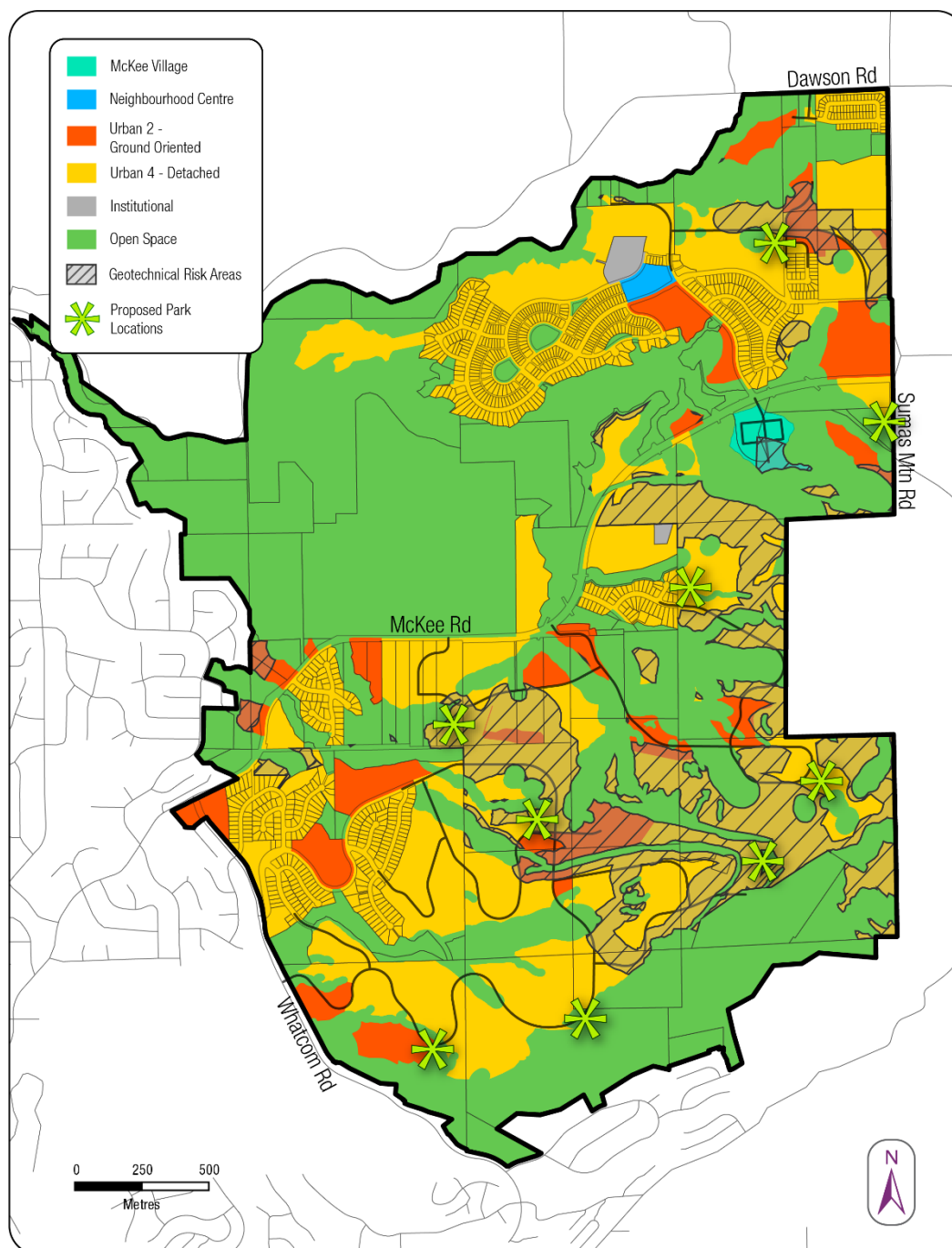
Map 2. Neighbourhood Structure





## LAND USE DESIGNATIONS

The land use designations in the McKee Neighbourhood Plan include both Parcel and Commercial Street designations shown on Map 3, and described in the following table. These designations supersede the land uses found in the Official Community Plan.



Map 3. Land Use Plan



Parcel designations establish the use and density of each parcel shown in Map 3. Commercial Street designations require certain uses along the building edges that support ground floor activity for the streets shown in Map 4.

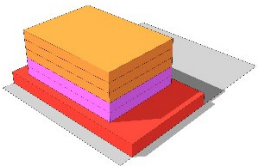
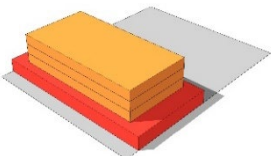



Map 4. Commercial Streets

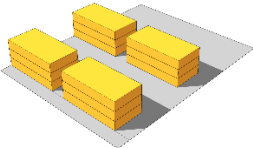




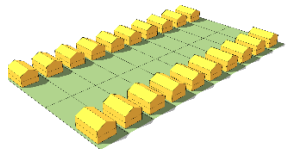
## MCKEE VILLAGE & NEIGHBOURHOOD CENTRE

Designation	Purpose and Designation	Building Type and Height	Uses	Density (min and max)
<b>McKee Village</b> 	Enable a mix of uses that creates the primary hub of activity in the McKee neighbourhood. Integrating the outdoor recreation opportunities of the mountain with commercial and residential uses in the village	Mixed Use Buildings  Heights are a maximum of 6 storeys	Mixed use (residential and commercial)  Multi unit residential  Commercial	1.0 to 2.0 FSR
<b>Neighbourhood Centre</b> 	Per the Official Community Plan	Single or multi storey buildings including low rises. Heights are limited to 4 storeys	Per the Official Community Plan	Per the Official Community Plan
<b>Commercial Street - Required</b> 	Require active ground floor commercial uses along a key street certain streets to ensure buildings contribute to a vibrant street environment. This area will provide an interface between outdoor recreation and supportive commercial amenities	Per the accompanying designation	The ground floor must be active commercial uses with individual access to the street	Per the accompanying designation

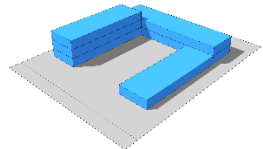
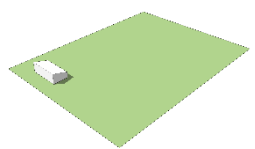

## RESIDENTIAL

Designation	Purpose and Designation	Building Type and Height	Uses	Density (min and max)
<b>Urban 2 – Ground Oriented</b> 	Enable multifamily housing to support development in challenging topography and to encourage increased density in proximity to essential services and recreation	Ground oriented multiplex, duplex, row and townhouses. Heights are limited to 3 storeys  Large sites (1 ha or greater) will <b>not</b> be permitted apartment buildings	Per the Official Community Plan	Per the Official Community Plan



<b>Urban 4 – Detached</b> 	Per the Official Community Plan	Per the Official Community Plan	Per the Official Community Plan	Per the Official Community Plan
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## SUPPORTING LANDS

Designation	Purpose and Designation	Building Type and Height	Uses	Density (min and max)
<b>Institutional</b> 	Per the Official Community Plan	Per the Official Community Plan	Per the Official Community Plan	Per the Official Community Plan
<b>Open Space</b> 	<p>Active and passive parks, mountain biking and hiking trails, fields, recreation facilities</p> <p>Preserved natural areas, steep slopes, sensitive habitat, streams (by land trust, covenant, or zoning)</p>	Per the Official Community Plan	Per the Official Community Plan	Per the Official Community Plan
<b>Geotechnical Risk Area</b> 	<p>Land identified as geotechnical risk areas</p> <p>Enable the underlying land use designation where land is suitable for development</p> <p>Enable Open Space land use designation where land is not suitable for development</p>	Per the underlying land use designation in accordance with recommendations from supporting geotechnical report	Per the underlying land use designation	Per the underlying land use designation



## Proposed Park Locations

Asterisks demarcate proposed park locations. The ultimate locations of the proposed park sites will be determined at the time of development. This will allow parks to seamlessly integrate into proposed development. If a proposed park location is adjusted, the underlying designation will apply.

## Geotechnical Risk Area

The Geotechnical Risk Area overlay is made up of areas identified in Stage 1 as being either geotechnical risk, or potentially unstable areas in the plan area. They are slopes greater than 30%, near environmentally sensitive areas, and are generally unsuitable for development.

At the time of development, an applicant will be required to submit a geotechnical report in support of development on these lands. If the City is in agreement with the findings of the report, development may be permitted in these areas.

If an application is submitted for a parcel containing geotechnical risk area, and there is not support for development on these lands, the applicant will transfer these lands to the City. The City will designate these lands as Open Space, and they may be used to form the trail network or protected as a natural environment area. An OCP amendment will not be required to accommodate Open Space.

## Density Calculations

The following policies apply when calculating density for development.

Decimals when determining residential units for hectare will be ignored: 1.1 is rounded down to 1; 1.9 is also rounded down to 1. Decimals when determining floor space ratios are rounded to one decimal place; 0.15 and greater is rounded up to 0.2; and 0.149 and lower is rounded down to 0.1.

## Net or Gross

Within the McKee Neighbourhood Plan boundary, density will be determined based on the net land area as shown in Map 3.

## Net Land Area

Net land area has been determined through the neighbourhood planning process and has taken into account the following:

- Geotechnical considerations
- Watercourses and riparian areas
- Habitat for species at risk/wildlife
- Archaeological and cultural heritage considerations

For clarity net land area includes:

- Park Land Dedications
- Public Road Dedications
- Land required for public infrastructure

Density is calculated as follows:

$$\text{NET LAND AREA} \times \text{LAND USE DESIGNATION DENSITY} = \text{TOTAL UNITS OR TOTAL FLOOR AREA}$$

## Land Use Designation Areas

At the time of development application, the land use designation area is subject to further analysis. The area can be adjusted to accommodate development relative to the net land area shown on Map 3. Any adjusted area will not



be considered an Official Community Plan amendment. This will enable land use designation boundaries to be refined from technical studies, such as environmental and geotechnical, without triggering an OCP amendment (to accommodate an increased or decreased setback, for example).





## **PART 3   POLICIES**

**MCKEE VILLAGE**

**RESIDENTIAL**

**GEOTECHNICAL RISK AREA**

**SUPPORTING LANDS**

**ENVIRONMENT**

**GREEN NETWORK**

**TRAILS**

**CULTURE**

## Policy Framework

The Neighbourhood Plan established a list of objectives to achieve through the planning process. The plan objectives informed the Concept Principles, which ultimately contributed to the creation of the plan policies outlined in this section.

These policies were also shaped by existing policies and plans, technical and related constraints, and community and stakeholder input. Existing City policies and plans (including the OCP), and senior government legislation dictate the direction of the neighbourhood plan. With that direction, technical studies were conducted to inform land use decisions in the plan area. Once these limitations were reviewed, the community and stakeholders provide valuable input and contribute local expertise to the formation of the plan.

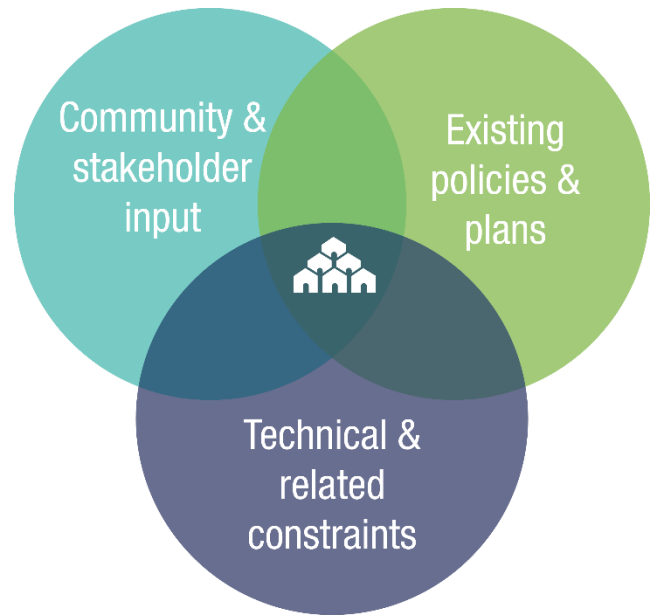


Figure 7. Shaping the Neighbourhood Plan

## MCKEE VILLAGE

The McKee Village is intended to enable a mix of multifamily and daily commercial uses that function as a community gathering place and destination. This includes shops, restaurants, cafes and services to serve a neighbourhood. The McKee Village is the gathering place for visitors and residents of the McKee neighbourhood. It will be the adventure hub of Abbotsford, making it a focal point driving recreational tourism and increasing the economic viability of commercial businesses. Buildings will be designed to protect and complement the natural features of the mountainous landscape, with limits to buildings heights and McKee Village design guidelines.



Figure 8. Commercial Street

### 3.1 Commercial Street

Concentrate retail and commercial businesses on the commercial street in the McKee Village where trails approaching from the mountain converge.

### 3.2 Outdoor Recreation Services

Encourage outdoor recreation serving businesses on the commercial street of the McKee Village.

### 3.3 Retail Scale

With the exception of a grocery store, limit commercial rental units to a neighbourhood scale.

### 3.4 Patios

Promote outdoor patios and other on-street commercial activity to create vibrant streets.



### 3.5 Building Heights

Keep buildings to a maximum of 6 storeys to maintain views and the mountain-feel of the neighbourhood, while also providing more residential units.

### 3.6 Development Permit Requirements

Require Development Permit applications to include details of all proposed signage in their drawing submissions to ensure that they are appropriately scaled to a pedestrian retail environment.

### 3.7 No Drive Thrus

Prohibit drive thrus within the village.

### 3.8 First Nation Culture

Enable First Nation culture to be represented in the McKee Village, in consultation with local First Nations.

### 3.9 Housing Variety

Use regulatory tools to enable a diverse mix of housing units and tenures.

### 3.10 Low-rise Apartment Buildings

Enable low-rise apartment buildings in the McKee Village.

### 3.11 Street Furniture

Align with the City's Streetscape Standards and Guidelines.

### 3.12 Underground Parkades Exceeding Ground Level

Enable underground parkades to exceed grade level, with significant landscaping, to accommodate the challenging topography and encourage alternatives to surface parking.



Figure 9. Concept Rendering - McKee Village





## RESIDENTIAL

The OCP outlines that 25% of new residential growth in the City will be directed towards the New Neighbourhoods Area, through the McKee Neighbourhood Plan planning process.

The new residential development in McKee will aim to provide a variety of housing options, encouraging a diversity of residents in a range of housing types and tenures. Housing will be most dense near neighbourhood amenities such as parks and schools, and it will be designed to complement the mountainous terrain.



**Figure 10. Concept Rendering - Residential Development**

### 3.13 Variety of Ground Oriented Housing Options

Enable a variety of ground oriented housing options, including townhouses and single detached houses, in the residential areas of the neighbourhood.

### 3.14 Mix of Lots

Enable a mix of lot types and sizes to accommodate diverse housing options in the neighbourhood that accommodate the steep mountain terrain.

### 3.15 Accessory Units

Meet minimum lot sizes and widths to enable accessory units, as a way to support diverse and affordable housing options.

### 3.16 Affordable Housing

Facilitate the provision of affordable market and non-market housing in collaboration with government, businesses, and non-profit associations.

## GEOTECHNICAL RISK AREA

The McKee neighbourhood is located on a mountain with significant topography and grade changes. As a result, in Stage 1, a Geotechnical Overview Assessment was conducted to gain an understanding of the suitability of the land for development. Through this assessment, large portions of the plan area have been identified as Geotechnical Risk Area, which encompasses potentially unstable areas, open slope hazard areas, and areas with other geotechnical risks.

These areas require extra attention prior to any development, as there is steep terrain with unstable slopes and rockfall hazards throughout the neighbourhood. The creeks and their associated ravine slopes create the potential for debris flood and flow events. Any future earthquakes may create the potential for slope destabilization leading to landslides, slope displacement and liquefaction.





Given the results of the Stage 1 Geotechnical Overview Assessment, to protect both the natural and built environment in the neighbourhood, the following policies will apply.

### 3.17 Steep Slope Development Permit Guidelines

Applications for lands within the Steep Slope Development Permit area will be required to submit geotechnical assessment at the time of development application.

### 3.18 Slope Crest and Toe

Limit development impacts within the slope crest and toe buffer of a ravine, as shown on Map 5, to facilitate safe residential development.

### 3.19 Slope Hazard Area

Conduct a detailed study to estimate the slope hazard level associated with site specific development within the geotechnical risk area, and limit the potential hazards associated with the development.

### 3.20 Run-Out and Deposition Zones

Assess the run-out and deposition zones of potential slides in areas identified in Map 5. Limit development in these areas to reduce risks to human life, infrastructure, property and/or resources.

### 3.21 Geotechnical Report Requirement

Lands identified as geotechnical risk will remain labelled as such to ensure all development (including future redevelopment) requires an updated detailed geotechnical report to support development.

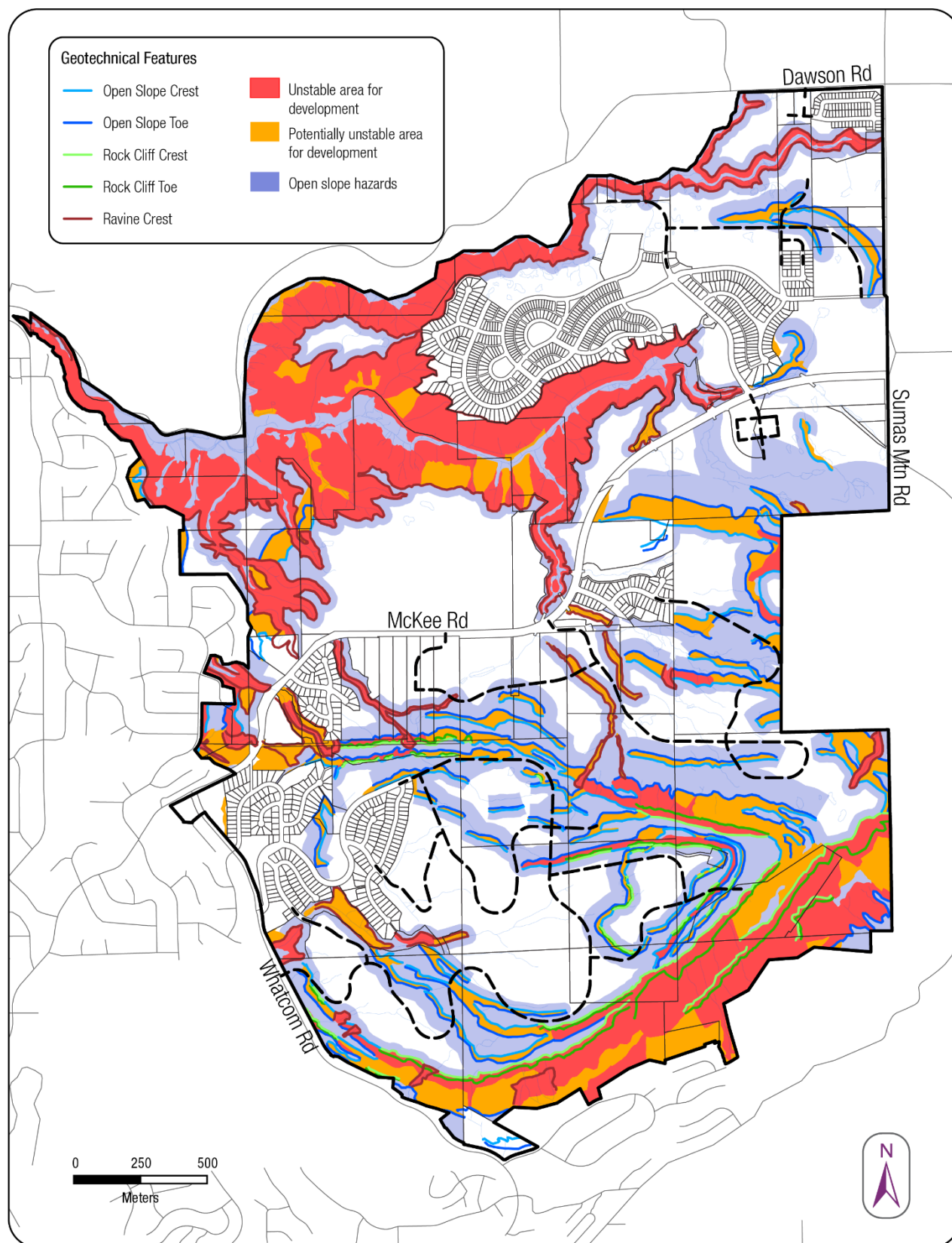
### 3.22 Open Space

Land deemed not suitable for development by a geotechnical engineer may be transferred to the City through measures such as dedication to the City, establishing a restrictive covenant, or rezoning to the satisfaction of the City. The City will use this land to form the Open Space Network for trails and natural areas.

### 3.23 Climate Change Resilience

Ensure infrastructure and residential development is designed and built to be resilient to climate change risks associated with steep slopes and mountainous terrain.





Map 5. Geotechnical Features



## SUPPORTING LANDS

The supporting lands in the McKee neighbourhood consist of schools (elementary, middle and high school), a fire hall, and opportunities for corner stores and daycares. The school policies consider the needs of the Abbotsford School District 34, and enable future students to go to school in their neighbourhood where they may be able to walk or bike to school.

The City's Fire Rescue Services Master Plan identifies the need for an additional, or a re-located fire hall to serve the McKee neighbourhood and surrounding areas (Map 6). The future fire hall will provide services beyond the Urban Development Boundary in the rural areas towards Sumas Mountain, it will serve the dense McKee Village and the entire McKee neighbourhood with access from an arterial road.

### 3.24 School Site Acquisition

Future school sites will be secured, for the purpose of future school board acquisition (see section 6).

### 3.25 School Site Distribution

Elementary, middle and high schools are to be located in the neighbourhood to accommodate future growth. Schools will be distributed across the neighbourhood, on sites that meet the needs of the Abbotsford School District 34.

### 3.26 Fire Hall Acquisition

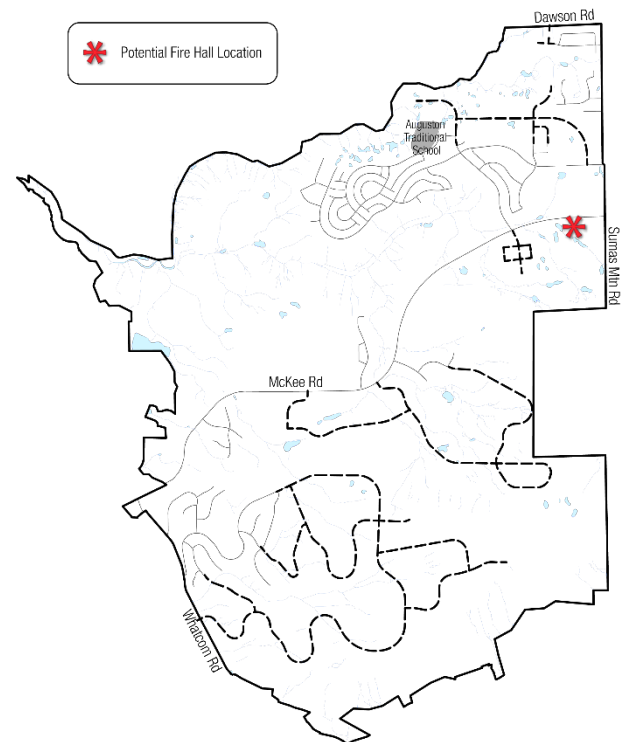
The City will acquire land for a new or re-located fire hall as per an existing covenant on title.

### 3.27 Fire Hall Distribution

Locate the fire hall on an arterial road for optimal response, near the Urban Development Boundary to improve service in the rural area and beyond, and close to the McKee Village.

### 3.28 Corner Store Policy

The OCP Corner Store Policy applies within the plan area to facilitate corner stores and daycares within the neighbourhood.



Map 6. Potential Fire Hall Location



## ENVIRONMENT

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Watercourses and riparian areas, and habitat for wildlife (including species at risk) are essential environmental features in the McKee neighbourhood to be protected.

To assess the watercourses and riparian areas, Stage 1 of the plan included a review to identify watercourses and riparian areas that are protected under the Water Sustainability Act Fisheries Act, and/or the Streamside Protection Bylaw No. 1465, 2005. A GIS based terrain model informed the delineation of major ravine boundaries, informing the top of bank conditions and Streamside Protection and Enhancement Area (SPEA) setbacks (also known as riparian areas). A field review was completed to assess and classify watercourses based on physical characteristics and indicators of hydrologic processes.

A wildlife habitat assessment was completed, and habitat for species at risk was mapped as habitat hubs. This included a review of adjacent source wildlife populations, identification of habitat hubs and priority habitat linkages, an analysis of terrain and ecosystem features, and field verification of habitat suitability for key 'umbrella' species such as Mountain Beaver and Red-legged Frog. The Fraser Valley Conservancy prepared a report that highlights the high productivity of the riparian corridors in the neighbourhood, providing crucial habitat. The report detailed that the integrity of the riparian corridors is critical to landscape level physical and ecological processes. As the primary movement corridors for water, nutrients and species through the landscape, they provide an integral connection within the neighbourhood and beyond

A wildlife linkage analysis was conducted to identify important populations, suitable habitat areas, and to maintain landscape connectivity. Linkages will naturally follow designated watercourses and associated riparian corridors. The SPEA setbacks present opportunities for wildlife movement through contiguous vegetated corridors. Riparian areas provide key linkages based on the protections afforded through senior government legislation (SARA) and protections under the City's Streamside Protection Bylaw.

A number of species in the neighbourhood are protected by the federal government through the *Species at Risk Act* (SARA) and by the provincial government through Best Management Practices (BMPs). GIS analysis conducted in Stage 1 confirms the neighbourhood includes high value wildlife habitat for a number of species as defined by the Committee on the Status of Endangered Wildlife in Canada (COSEWIC) and the Province of BC's Conservation Data Centre (CDC). Wildlife and wildlife habitat suitability field studies conducted in 2017 found occurrences of Phantom Orchid, Oregon Forest Snail, Pacific Sideband, Northern Red-legged Frog, Mountain Beaver and Pacific Waterleaf. Other species that have previously been identified in the plan area include, Western Painted Turtle, Townsend's Mole and Peregrine Falcon.

As a SARA schedule 1 species, a COSEWIC endangered species, and a provincially red listed species, Phantom Orchids were studied in particular detail in Stage 1 in consultation with Environment Canada's Canadian Wildlife Service. The federal government's Recovery Strategy identifies a 250 metre non-disturbance buffer around each occurrence. To balance these environmental setbacks with the residential development objectives of the Neighbourhood Plan, the City's consultant further analyzed and refined the federal buffer using the following criteria:

- Aspect (sun angle and slope direction)
- Forest type (mixed coniferous forest)
- Hydrology (direction of water flow)
- Windthrow (edge effect on host trees)



Critical habitat for Phantom Orchid has been identified in Map 9, providing protection that meets the intent of the federal government guidelines, yet allows the City to meet its neighbourhood plan residential development objectives.

### 3.29 Watercourses and Riparian Areas

Limit development impacts to the watercourse and riparian area setbacks outlined in Map 8. Further analysis of these setbacks is required at the time of development application for lands adjacent to watercourses and riparian areas.

### 3.30 Refining Riparian Setbacks

Site-specific aquatic habitat assessments are required to verify watercourse permanence, potential fish bearing status, the presence or absence of active floodplain conditions, field delineation of appropriate top-of-bank boundaries to inform setback requirements, and potential presence of unmapped watercourse or wetland habitat features.

To refine riparian setbacks, additional environmental assessments will be required at the time of development application.

### 3.31 Headwater Wetlands

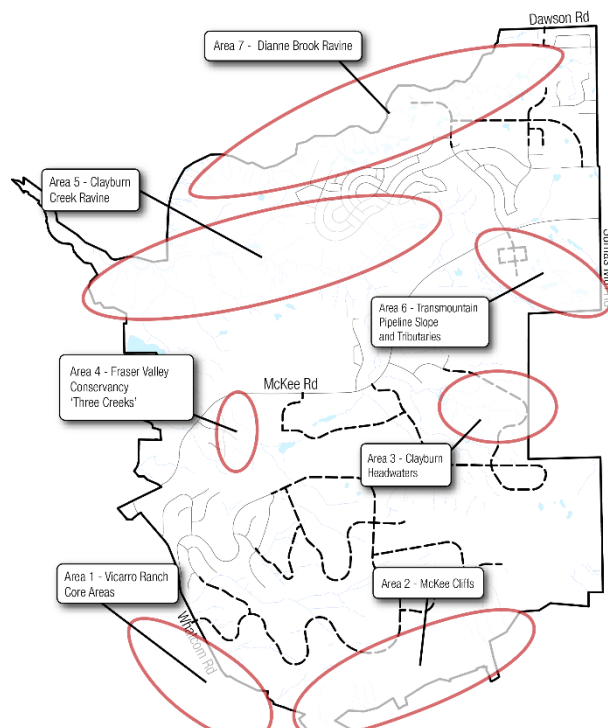
Headwater wetlands confirmed to provide direct water supply to connected ecosystems require SPEA setbacks consistent with the Streamside Protection Bylaw. Isolated watercourses (including wetlands) require protection under the provincial *Water Sustainability Act*.

### 3.32 Habitat Hubs

Follow federal, provincial and municipal legislation to protect critical habitat required to protect species at risk by locating development away from the identified Habitat Hubs where possible (see Map 7).

### 3.33 Three Creeks Habitat Hub

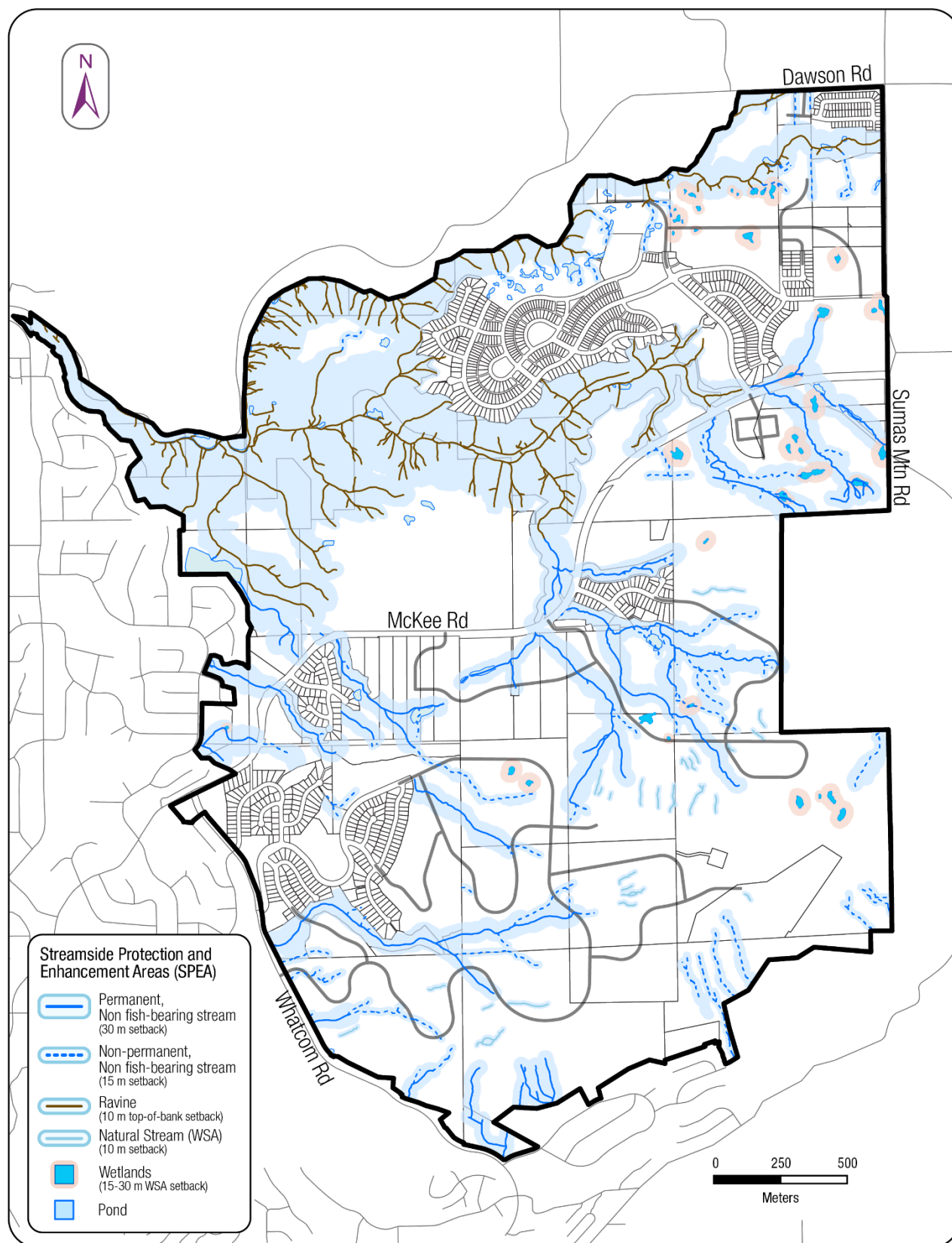
The Habitat Hub, 'Three Creeks', identified in Map 7, will be maintained by the Fraser Valley Conservancy. No trails or development will be permitted on the property to ensure the long-term ecological integrity of the site.



Map 7. Habitat Hubs







### 3.34 Wildlife Linkages

Limit development impact on the Wildlife Linkages identified in Map 10, to maintain healthy wildlife populations and contribute to the survival of species at risk in the neighbourhood. Utilize the Open Space network to maintain Wildlife Linkages within and beyond the neighbourhood. Where required, the City may acquire developable land to accommodate wildlife linkages at the time of development.

### 3.35 Species at Risk

Protect identified Species at Risk in the McKee neighbourhood by limiting development impact in the Habitat Hubs identified in Map 7, and the Wildlife Linkages/Corridors in Map 10.

### 3.36 Habitat Connectivity

Habitat connectivity is essential to maintaining healthy wildlife populations in addition to the survival of species at risk, and should be maintained as much as possible through development.

### 3.37 Phantom Orchid

Guide development away from the Phantom Orchid critical habitat buffers identified on Map 9, in accordance with the federal government Recovery Strategy for the Phantom Orchid, and the City's site-specific buffers (37 m to 67 m upslope, and over 250 m downslope).

### 3.38 Climate Change and Disaster Resilience

Ensure infrastructure and future development is built to sustain impact from more frequent and larger storms, droughts, or other natural disasters such as earthquakes.

### 3.39 Urban Forest Strategy

Align development in McKee with the City's Urban Forest Strategy. Expand and strengthen a healthy and diverse tree canopy to improve air quality, capture carbon dioxide, reduce heat island effects, support public health and quality of life, and create beauty in the city. Retain trees where possible to maintain a high quality canopy that contributes to the citywide canopy goals.

### 3.40 Mature Tree Preservation

Where possible, preserve mature trees to enable a significant tree canopy. When necessary to remove mature trees, replace with trees that will contribute to the existing canopy.

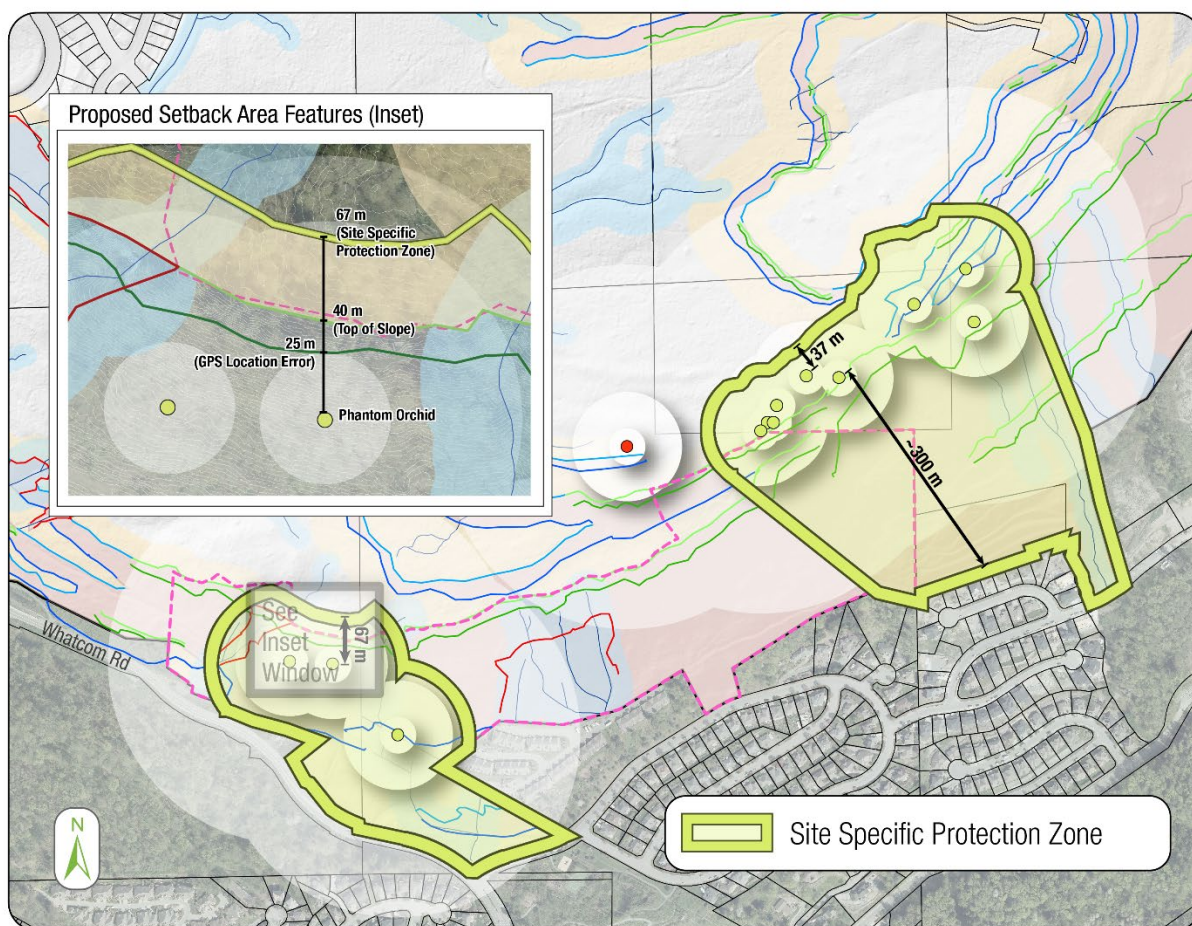
### 3.41 Trails in SPEA and RAPR Setbacks

City trails for recreation may be permitted within SPEA setbacks, and may cross through Riparian Area Protection Regulation (RAPR) setbacks perpendicular to a watercourse crossing. Trails will be subject to site-specific details at the time of development application.

### 3.42 Crossings through Environmentally Sensitive Areas (ESAs)

Avoid locating trails, roads and utilities across ESAs. If unavoidable, retain a Qualified Environmental Professional at the time of development to design wildlife-friendly crossings that provide for the movement of large mammals at all Wildlife Linkage crossings, and incorporate best management practices to mitigate impacts on the ESA.





**Map 9. Phantom Orchid Habitat**

### 3.43 Utilities Crossing

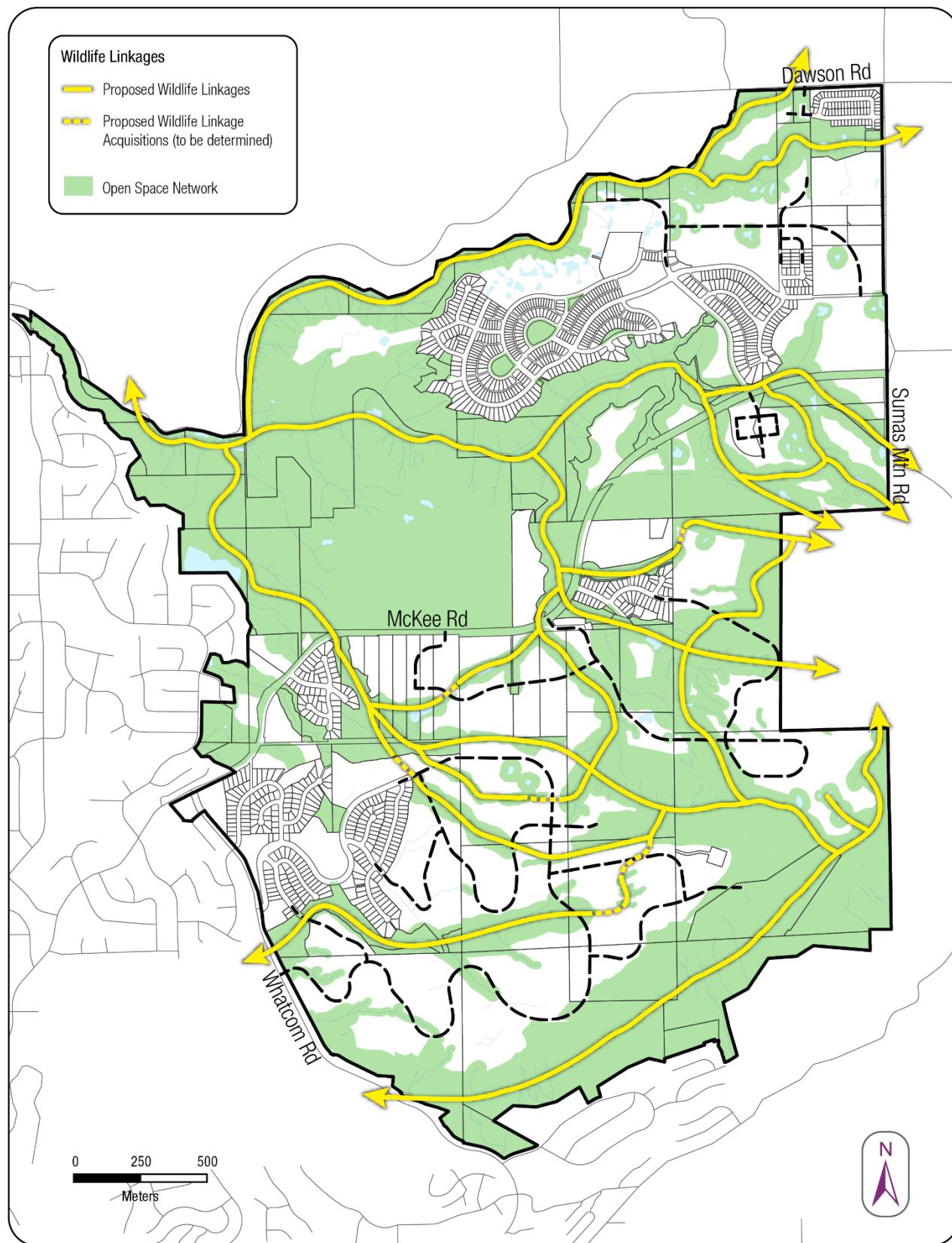
Utilities will be located under the road network where possible. City and franchise utilities will not be permitted to cross through environmentally sensitive areas.

### 3.44 Cell Towers

Cell towers should be sensitively incorporated into development areas with screening. Cell towers will not be permitted in environmentally sensitive areas.







Map 10. Wildlife Linkages



## GREEN NETWORK

Creating a publicly accessible Green Network which includes **Parks, Open Space, Views and Trails** will be of key importance when planning the McKee neighbourhood (Map 11). Its character will be defined by the existing rich and diverse natural environment comprised of steep wooded slopes dissected by creeks and with surfaces ranging from rich loam to exposed rock. The area is currently known for its informal mountain biking and hiking trails and while residential neighbourhoods will now be added to the landscape, the desire is to retain as much of the outdoor experience as possible. **Parks, Open Space, Views and Trails** will be planned to enhance outdoor recreation opportunities for local residents and visitors. As the natural landscape will be the key feature of the neighbourhood, maintaining environmental integrity will be essential. Creative solutions must be implemented to support this vision and an approach unique to McKee will be required.

## PARKS

Parks are planned, publicly accessible, recreational spaces. The City's Parks, Recreation & Culture Master Plan (2018) provides guidelines and criteria for planning parks such as classifications, typical sizes and amenities and distribution. Parks will be distributed across the McKee Neighbourhood Plan to achieve access equity. Due to the mountainous terrain, parks may be smaller than is typical and it will be important to find a balance between programmable parkland and natural spaces. Within the McKee Neighbourhood Plan, individual park design should be sensitive to the natural environment and support the vision of the overall Green Network.

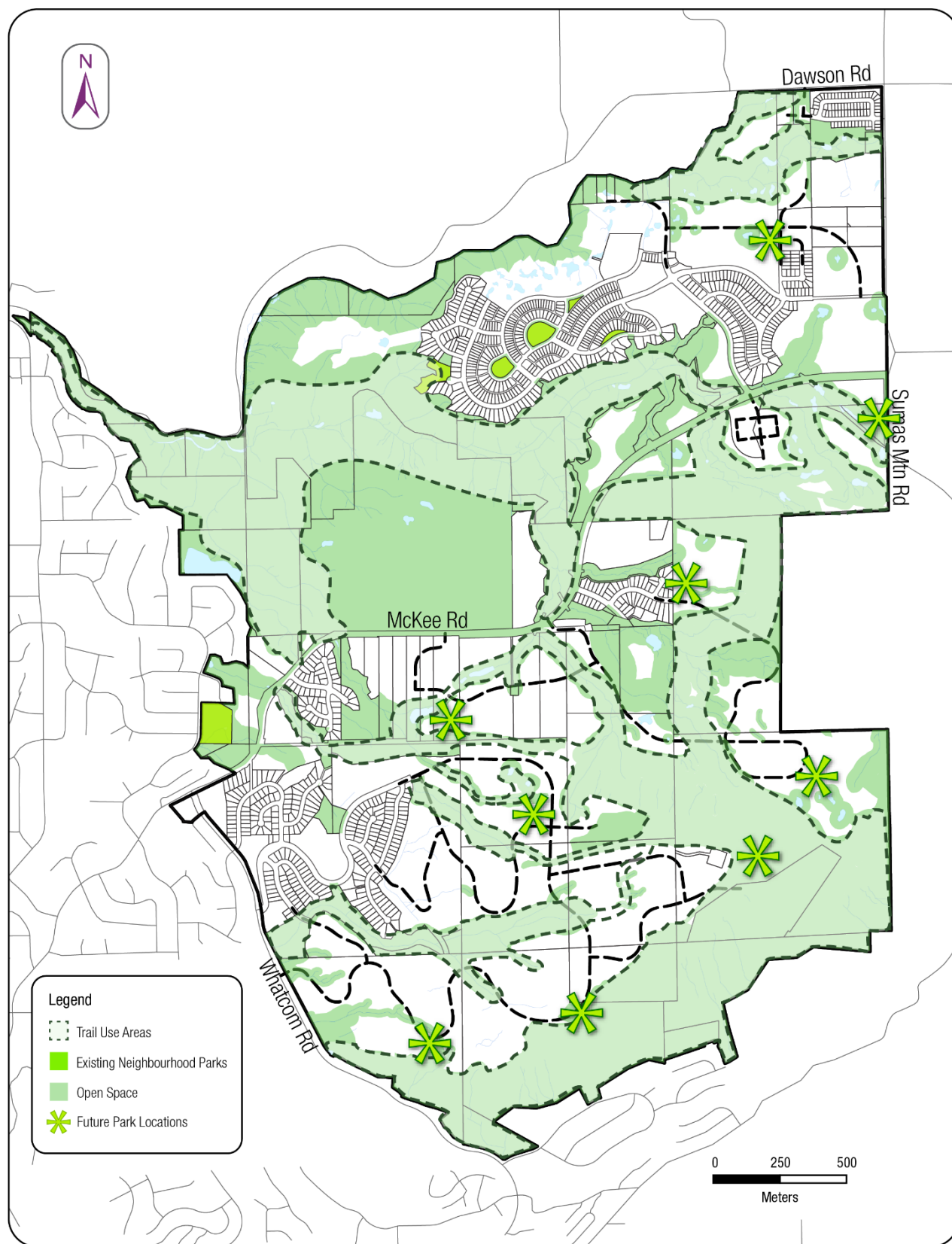
Park locations were selected based on the following factors:

- Proximity to higher density residential land use
- Flatter sites to minimize grading required for sports fields and play equipment
- Pedestrian accessibility
- Proximity to collector roads for sufficient access, frontage and parking
- Equitable distribution throughout the neighbourhood
- Site to be serviced with city services and utilities



Figure 11. Concept Rendering - Neighbourhood Park





Map 11. Green Network





### 3.45 Existing and Proposed Parks

Total Parkland in McKee  *12.4-19.9 ha	<b>Existing Parks</b>	
	Atwood Park	0.2 ha
	Callaghan Park	0.8 ha
	Mathers Park	0.0 ha
	McKinley Park	1.7 ha
	Shadbolt Park	0.5 ha
	Tom Thomson Park	0.9 ha
	<b>New Parks</b>	
	Neighbourhood Park 1	*1.8-3.3 ha
	Neighbourhood Park 2	*1.6-3.1 ha
	Neighbourhood Park 3	*1.0-2.5 ha
	Neighbourhood Park 4	*0.7-2.2 ha
	Neighbourhood Park 5	*1.1-2.6 ha
	Neighbourhood Park 6	0.7 ha
	Neighbourhood Park 7	0.4 ha
	Community Park	0.7 ha
	City-wide Park	0.3 ha
	*Park sizes are approximate, based on current information, and may vary depending on site-specific conditions	

Table 1. Existing and Proposed Parks with Sizes

### 3.46 Park Types

#### Neighbourhood Parks

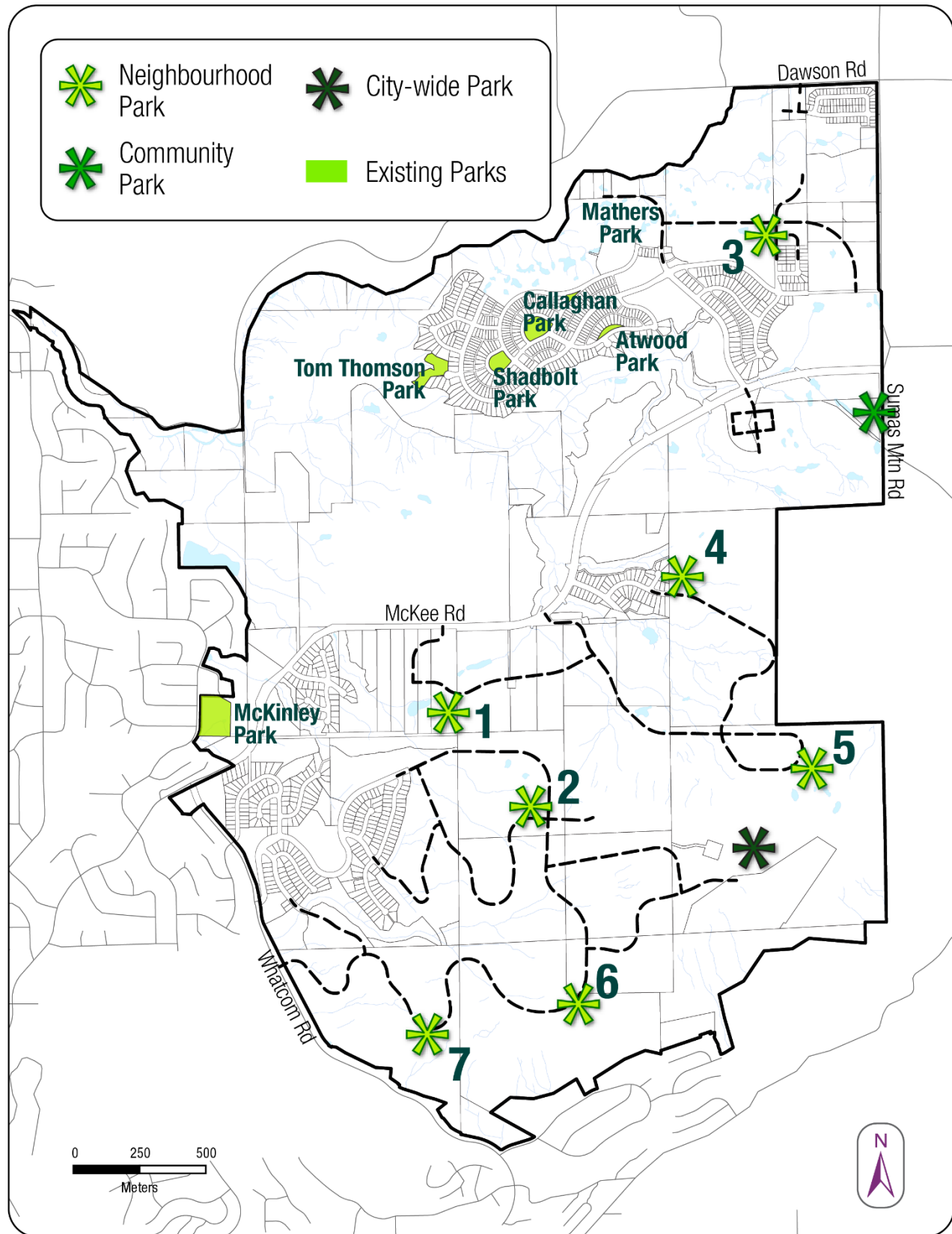
Neighbourhood parks serve as the focal point of the neighbourhood providing active and passive recreational opportunities, often including a social gathering space within walking distance from local residences. They are centrally located to the area they serve and have good pedestrian connections into the neighbourhoods and to the Green Network. Typical amenities may include play equipment, a shade structure, seating, informal active areas, pathways or other amenities as determined by the city. The typical size is between 2 and 4 ha, but due to the mountainous terrain sizes have been adjusted as shown in table 1.

#### Community Parks

Community parks serve as the visual, physical, and social focus of the community or group of neighbourhoods. They should have good pedestrian connections to the larger community and to the Green Network. Typical amenities may include playgrounds with more challenging play features, sports fields or courts, washrooms, walkways or trails, a parking lot or other amenities as determined by the City. The typical size is between 4 and 8 ha.

The proposed Community Park will have a limited amount of flat area available for programmable parkland and will not meet the size range noted above. However, it is intended to function as a community Park and will include Community Park amenities. Opportunities to expand the size of this park will be explored.





Map 12. Existing and Proposed Parks



### City-wide Parks

City-wide parks serve as a destination, expected to draw visitors from the entire city. City-wide parks are sometimes focused on features that are unique to the city rather than size and amenities. This park will feature a unique natural feature on the mountain with extraordinary views.

## ACQUISITION STRATEGY

The actual size and total amount of parkland available in the plan area is dependent on the amount of developable land. If areas currently identified as geotechnical risk areas are supported for development through further geotechnical hazard assessment, the area provided for parkland will increase. Conversely, if less land is proven to be developable through further assessment, there will be less land dedicated to the City for the creation of parks.

The McKee Green Network identifies seven new Neighbourhood Parks, a Community/Neighbourhood Park and a City-Wide Park. The acquisition strategies employed in this plan are consistent with the recommendations outlined in the British Columbia *Local Government Act* and the British Columbia Parkland Acquisition Best Practices Guide. Land will be acquired using a combination of a 5% of developable land contribution, 5% cash-in-lieu-of-parkland contribution and a portion of development cost charges (DCC's), as applicable for each development application.

All landowners developing property in the McKee Neighbourhood Plan area must pay parkland DCCs, for the purposes of, in part to acquire Community and City-wide Parks.

## PARK DEVELOPMENT

### 3.47 Developer Requirements

Land dedicated to the City for parkland, as part of the 5% of developable land dedication, shall be zoned for park uses, and be prepared for park use by the landowner/developer prior to dedication, as follows:

- a) Preliminary grading to provide positive drainage and flatter programmable areas as determined on a grading plan accepted by the City.
- b) Lands must be fully developable and stabilized for the intended use based on a geotechnical assessment.
- c) Other site-specific considerations determined through a detailed review at time of rezoning.

### 3.48 Parkland Requirements Conveyed on Plans

All development application submissions should include all information specified above for parkland requirements.

### 3.49 Colocation

Parks are an integral part of the Green Network and shall be located with easy access from the street and/or the trail network. Locate parks near higher density land uses to make them easily accessible to more residents.

### 3.50 Street Frontage and Safety

Substantial street frontage is necessary for visibility within the neighbourhood and along the street. Longer street frontages support greater public awareness of the park, increased natural surveillance, and satisfy principles of





CPTED (Crime Prevention Through Environmental Design) requirements for public safety. Narrow pathways with high visual or physical barriers leading to parks create unsafe entrapment locations and parks located to the rear of residential areas are to be avoided due to lack of natural surveillance.

### 3.51 Park Development

Once the developer requirements for the parkland and surrounding construction of homes are completed, the park will be designed and developed by the City.

## OPEN SPACE

The McKee Neighbourhood Plan will be home to large natural Open Spaces that support natural environment protection, provide areas for trail development, outdoor recreation opportunities and linkages into key neighbourhood destinations. Lands within McKee that cannot be developed and are acceptable to the City may be transferred to the City as Open Space through measures such as dedication to the City, establishing a restrictive covenant, or rezoning to the satisfaction of the City at the time of development, and used to build part of the Green Network. This land may include steep slopes, significant tree stands, environmentally sensitive areas, storm ponds, and other areas not suitable for development.

## ACQUISITION STRATEGY

### 3.52 Open Space Acquisition

Open Space lands may be transferred to the City through measures such as dedication to the City, establishing a restrictive covenant, or rezoning to the satisfaction of the City, at the time of rezoning or subdivision, as applicable.

## VIEWS

There are viewpoints of the surrounding prairies, valley, mountain ranges, and Metro Vancouver from multiple locations in the neighbourhood (Map 13). Views from parks, trails and other common areas in the neighbourhood should be protected, highlighted, and kept publicly accessible through the development process, to ensure everyone can enjoy the incredible views.

### 3.53 Protect Views

Protect and highlight views of natural features, including predominant peaks and mountain ranges. Throughout the development process, consider impacts on views and ways to keep views public.

### 3.54 Viewing Platform

Include a viewing platform on the highest elevation water tower on McKee Peak.



Figure 12. Views





Figure 13. Concept Rendering - McKee Peak





## TRAILS

The McKee Neighbourhood Plan envisions a neighbourhood that is an outdoor adventure hub in the City. Trails will meander between forests and streams, offer linkages between neighbourhoods and key destinations, foster connection with and appreciation for the land and the natural areas, and provide various recreation opportunities.

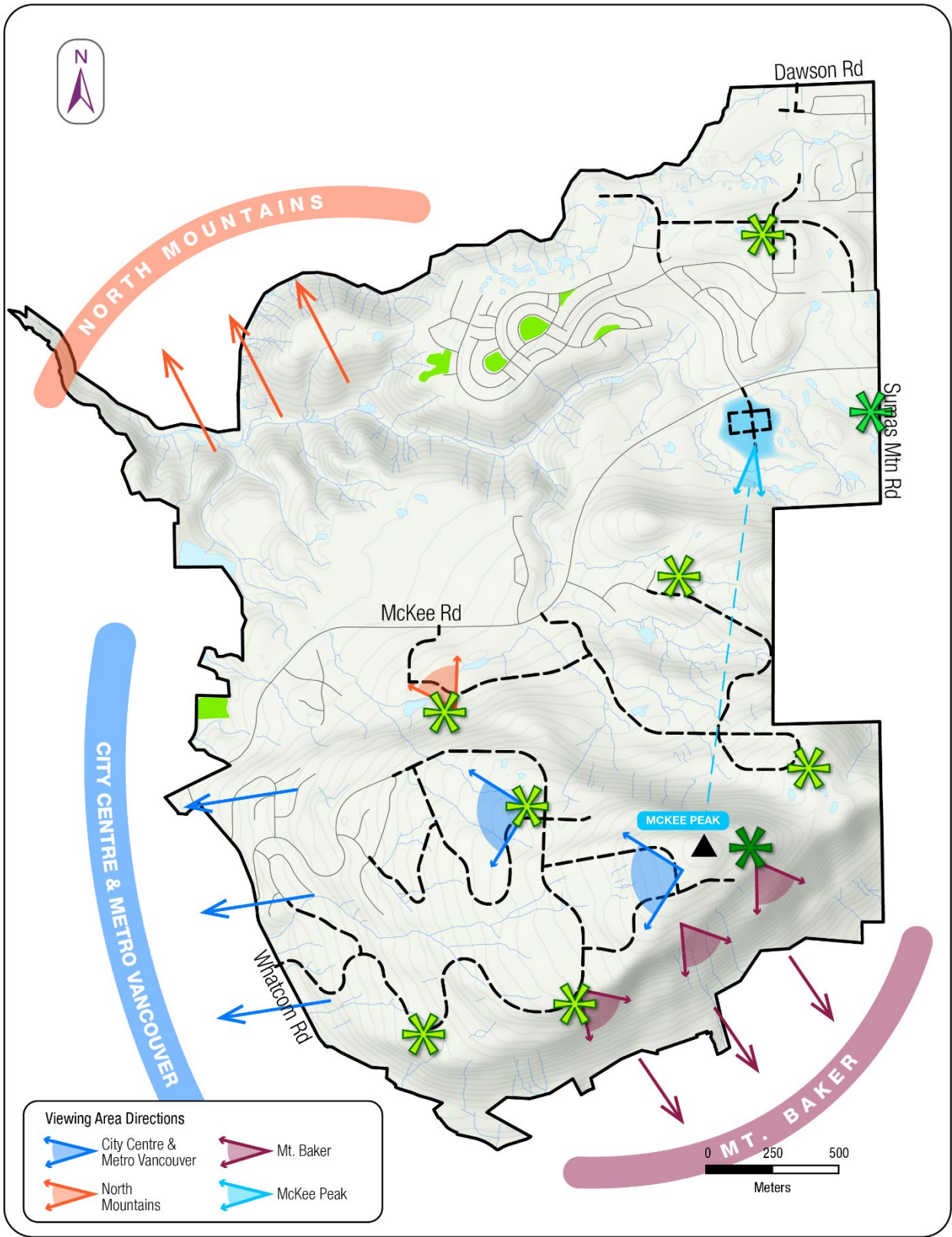
Trails are an essential component of the neighbourhood and will help to prioritize people, not cars. As development continues in the neighbourhood, access to trails on private land will be limited, and creative solutions to maintain existing trails and develop new trails that coordinate with development sites, will be needed. City owned trails in the Green Network will be used for a variety of recreational types, skill and ability levels, while managing the risks associated with recreational trails on the mountain in accordance with the *Occupiers Liability Act*, particularly mountain bike trails.

The OCP highlights the importance of making walking, biking and transit delightful. One way to achieve this in the McKee neighbourhood is to create a connected network of parks, open spaces, views and trails.



Figure 14. Concept Rendering – Trailheads and Green Network





Map 13. Views



### 3.55 McKee Trail Future Study

The Parks, Recreation, and Culture Department will establish the specifics of the trail network within the neighbourhood in a future detailed study. This study will examine the trail hierarchy and types, general alignments, and trail standards (including hiking, mountain biking, multi-use and universally accessible), in consultation with the community. The study may also examine and supplement guidance on other components of the Green Network such as Parks, Open Spaces and Views.

## ACQUISITION STRATEGY

### 3.56 Trails Acquisition

Land for trails will be transferred to the City at the time of rezoning or subdivision, as applicable. Land transferred will often be comprised of environmentally sensitive areas, steep slopes, riparian areas and species at risk habitat management areas.

To achieve a successful trail network, corridors will need to connect to key neighbourhood destinations. Most of the corridors identified on Map 14 are on private land that may be unsuitable for development. However, when required, acquisition of developable land to connect corridors will be discussed at the time of development.

## TRAIL DEVELOPMENT

### 3.57 Variety of Trail Types

One of the goals of the McKee Neighborhood Green Network is to provide access to a variety of recreation opportunities for residents. To achieve that, it is important to build multi-use, recreation, nature and mountain bike trails on the mountain. Trails should be universally accessible where deemed appropriate.

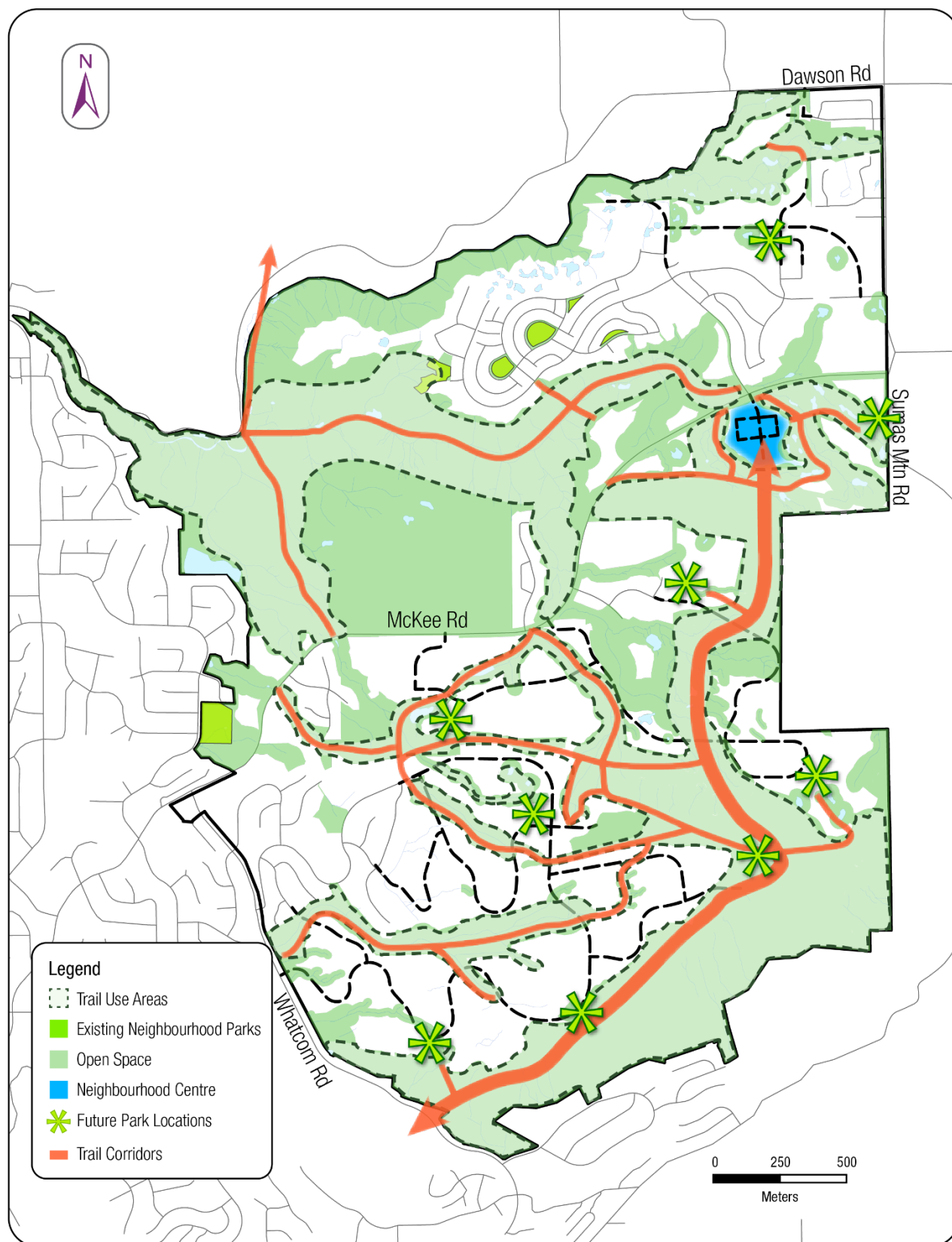
### 3.58 Trail Design

Trails shall be designed to achieve the following criteria:

- a) Trail type feature shall reflect the anticipated trail user.
- b) Trails shall connect development areas, existing trail networks (Discovery Trail, the Trans Canada Trail, and trails to Sumas Mountain) and provide looping networks.
- c) Trails shall highlight natural features, viewpoints and other points of interest.
- d) Trails shall minimize the use of stairs.
- e) Where appropriate, trails shall use existing trail corridors, proposed servicing corridors and previously established logging or service roads and driveways to minimize environmental impacts.
- f) Trails shall avoid tree and significant vegetation removal, avoid encroachment into ESAs and species-at-risk management areas.
- g) Where roads provide inconvenient pedestrian connections between key neighbourhood destinations, prioritize trail connections.
- h) Avoid locating trails directly behind private property to create a balance between privacy and user experience of the mountain.
- i) Do not permit trails in Environmentally Sensitive Areas (ESA) where human activity may pose a risk to wildlife or natural features.
- j) Lands must be developable and stabilized for its intended use based on a geotechnical assessment.







Map 14. Trail Corridors





### 3.59 Trails in SPEA and RAPR Setbacks

New trail alignments shall be located outside of the top of bank within Streamside Protection and Enhancement Areas (SPEAs). For non-permanent, non-fish bearing streams, the trails may be situated on only one side of the SPEA in order to limit impacts to wildlife. For permanent or fish bearing streams, trails may be situated on both sides of the SPEA. Where Recreation or Multi-Use trails are proposed, the impacts will be compensated for at a 2:1 ratio.

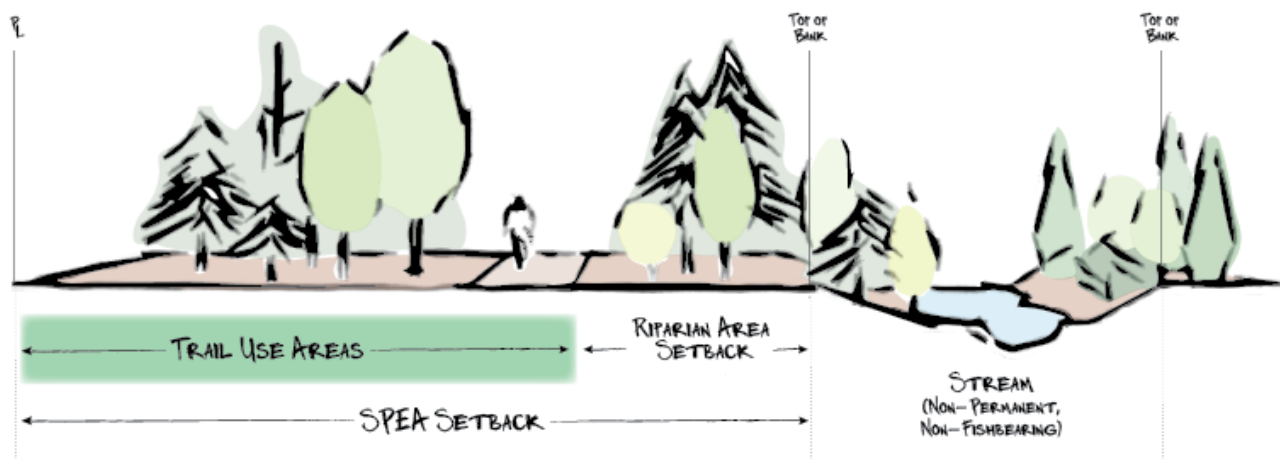


Figure 15. Trails in SPEA and RAPR

### 3.60 Trail Signage

Provide signage (including maps) within the trail network and at trailheads to inform trail users about risks, closures, for wayfinding and interpretive purposes, and to convey other important information.

### 3.61 Interim Trailheads

Facilitate continued trail access throughout the phasing of development in the neighbourhood. Provide interim trailhead locations at the end of incomplete roads or in other convenient locations for trail users. Where appropriate, use and maintain existing trail accesses. Use wayfinding signage to help trail users find trailheads, particularly when access points are moved due to construction.

### 3.62 Ultimate Trailhead Locations

Trailheads will be integrated into the road design, and will be built at the time of road construction, generally at the trail access points identified on Map 15.



### 3.63 Trailhead Types

To meet the needs of trail users and residents, amenities will be provided at some of the trailheads in the neighbourhood. Trailheads may be classified into different types based on their required amenities. Key Trailheads, for example, at the top of the mountain and in McKee Village should provide parking, public washrooms, water fountains, and mountain bike specific amenities, such as a bike wash. Smaller trailheads throughout the neighbourhood should provide fewer amenities including signage, and 'pocket-parking' for neighbourhood visitors where feasible.



### 3.64 Fencing

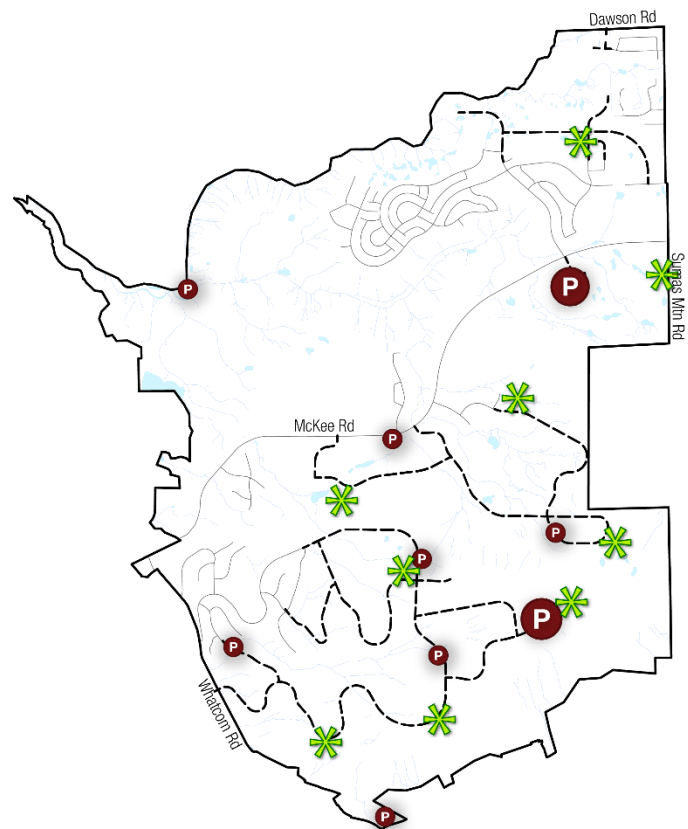
When development and trails are planned adjacent to or within environmentally sensitive areas (ESA), use fencing to protect the ESA and enhance public safety. Use bear and predator resistant chain-link fencing at strategic locations around schools, playgrounds and sports fields near ESAs to reduce human-wildlife conflicts.

### 3.65 Trails in Culturally Sensitive Areas

Trails located in or near culturally sensitive areas will be decommissioned or rerouted to avoid the site as per the Stó:lō Heritage Policy Manual.

### 3.66 Trail Construction

New trails are to be constructed by developers to the City's satisfaction, in alignment with this plan and the McKee Trail Future Study, at the time of development. Where possible, use existing trail alignments to limit environmental impact of trail construction.



Map 15. Trailheads

### 3.67 Trail Design Requirements Conveyed on Plans

All development application submissions should include all design and construction specifications for trails.



### 3.68 User Group Partnerships

Where interest is expressed, encourage partnerships with trail user groups for trail design and maintenance.

### 3.69 Trails Liability

Identify trails within the City's jurisdiction to be marked as trails for recreation, in accordance with the *Occupiers Liability Act*.

### 3.70 Educational Opportunities

Use the City's website and social media channels to provide educational material regarding trail etiquette and safety.

## CULTURE

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The McKee neighbourhood is within the asserted traditional territory of the Sumas (Sema:th), Leq'a:mel and Matsqui First Nations of the Stó:lō Nation, and is a sacred landscape to the local First Nations. The City hired an archaeological consultant to conduct the archaeological and cultural heritage work required prior to development on this land.

An Archaeological Overview Assessment (AOA) was conducted in Stage 1 to determine the distribution of known and potential archeological sites within the neighbourhood. This AOA consisted of a field investigation/preliminary field reconnaissance, which found a total of fifty-two (52) areas of archeological potential (AOPs), and four (4) Culturally Modified Trees (CMTs).

In Stage 2, an Archaeological Impact Assessment (AIA) was conducted to determine if any of the identified AOPs that conflicted with the proposed infrastructure contained archaeological remains. Access was granted for 6 out of the 11 AOPs that conflicted with the proposed infrastructure. Within the locations tested, there were no archaeological materials identified. The negative data gathered from the shovel testing provides a positive indication that infrastructure can be located as proposed in this plan. The remaining AOPs will be tested by individual landowners or developers at the time of development.

The McKee neighbourhood will continue to be a gathering place for outdoor recreation enthusiasts. The neighbourhood and the McKee Village will facilitate a welcoming environment with opportunities for public communal spaces and outdoor adventures.

Policies in this section aim to protect cultural heritage and archaeological sites, increase the Indigenous presence in the neighbourhood, and to create spaces for residents to gather and build a sense of community.

### 3.71 Unstudied AOPs

Any Areas of Archaeological Potential (AOPs) identified in this plan that were not studied at the time of the City-led Archaeological Impact Assessment will be required to be studied at the time of a development application at the developer's expense (Map 16).



### 3.72 Chance Find Procedure

A *Chance Find Procedure* should be followed by construction staff during project construction, including notification to all local First Nations when construction is beginning on a property. Stó:lō Research and Resource Management Centre (SRRMC) should be included in on-the-ground *Chance Find Procedures*.

If chance archaeological or heritage materials are encountered during ground disturbance activities, all impact activities must cease immediately and the Archaeology Branch and all First Nations with interests in the area must be notified. SRRMC should be involved in any *Chance Find Procedure* work, and notified and given the opportunity to compete for a contract for future City-led Archaeological Impact Assessments.

### 3.73 Avoid Cultural Sites

Protect important First Nation cultural heritage sites by establishing development setbacks based on City of Abbotsford environmental policy and senior government legislation.

### 3.74 Cultural Inclusiveness

Encourage cultural expression through events, public art, and other means that reflect diverse community interests and needs.

### 3.75 Public Artwork

Encourage public artwork, particularly in the McKee Village. Engage with local First Nation artists to explore public artwork opportunities.

### 3.76 Place Names

In consultation with local First Nations, identify appropriate street, trail, and place names within the neighbourhood to reconnect First Nation traditions to the landscape. Include Halq'eméylem spelling on signage in the McKee Village to enhance the cultural experience.

### 3.77 Special Events

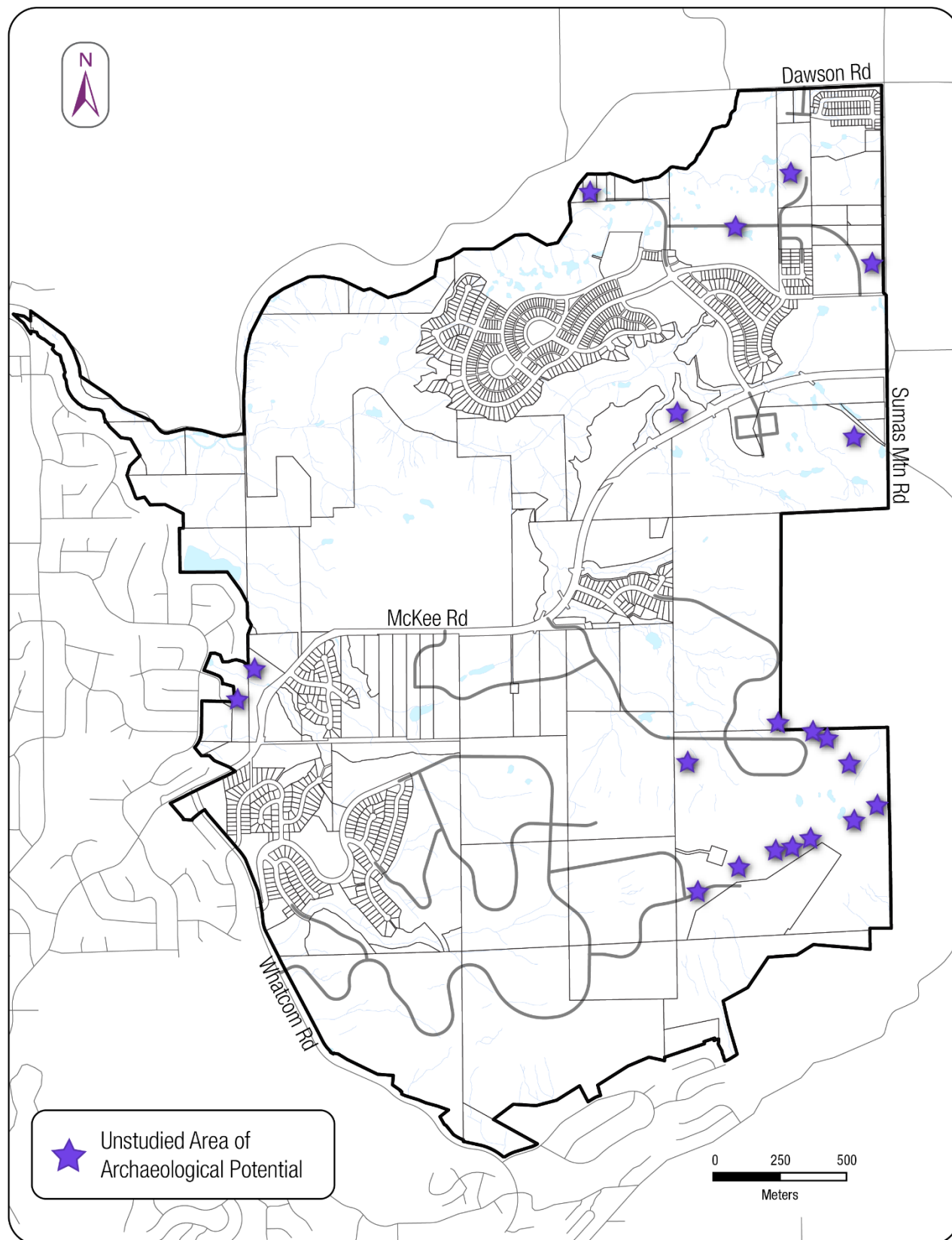
Support special events in public spaces to help create a sense of community.

### 3.78 Gathering Spaces

Create opportunities for group seating throughout the neighbourhood, including in the McKee Village and at trailheads, to encourage informal gathering spaces and to create a sense of community.







Map 16. Unstudied AOPs





## PART 4 DEVELOPMENT PERMIT GUIDELINES

**MCKEE VILLAGE**

**STEEP SLOPE**

**WILDFIRE HAZARD**







## DEVELOPMENT PERMIT GUIDELINES

Local governments are authorized to create and adopt Official Community Plans (OCP) through the *Local Government Act* in British Columbia. Official Community Plans provide the long-term vision for a community and set the policies relating to land use management within the area covered by the plan.

Within the OCP, local governments can designate Development Permit Areas (DPAs) for several reasons, such as:

- the protection of the natural environment,
- protection from hazardous conditions,
- protection of agricultural lands,
- and/or to guide the form and character of development.

Development Permit Areas can help to achieve the objectives set forth in the Official Community Plan. Once an area has been designated, land development and construction can only take place after a development permit has been issued.

To establish objectives for the form and character of development in the McKee Neighbourhood Plan, the City designates lands as subject to the following Form and Character Development Permit Guidelines, in the McKee Village land use designation. All development outside these areas remain subject to the Official Community Plan Development Permit Guidelines.

To protect development from hazardous conditions, the City designates land subject to McKee Steep Slope Development Permit Guidelines, and the Wildfire Urban Interface Development Permit Guidelines. All development outside these areas remain subject to the Official Community Plan Development Permit Guidelines.

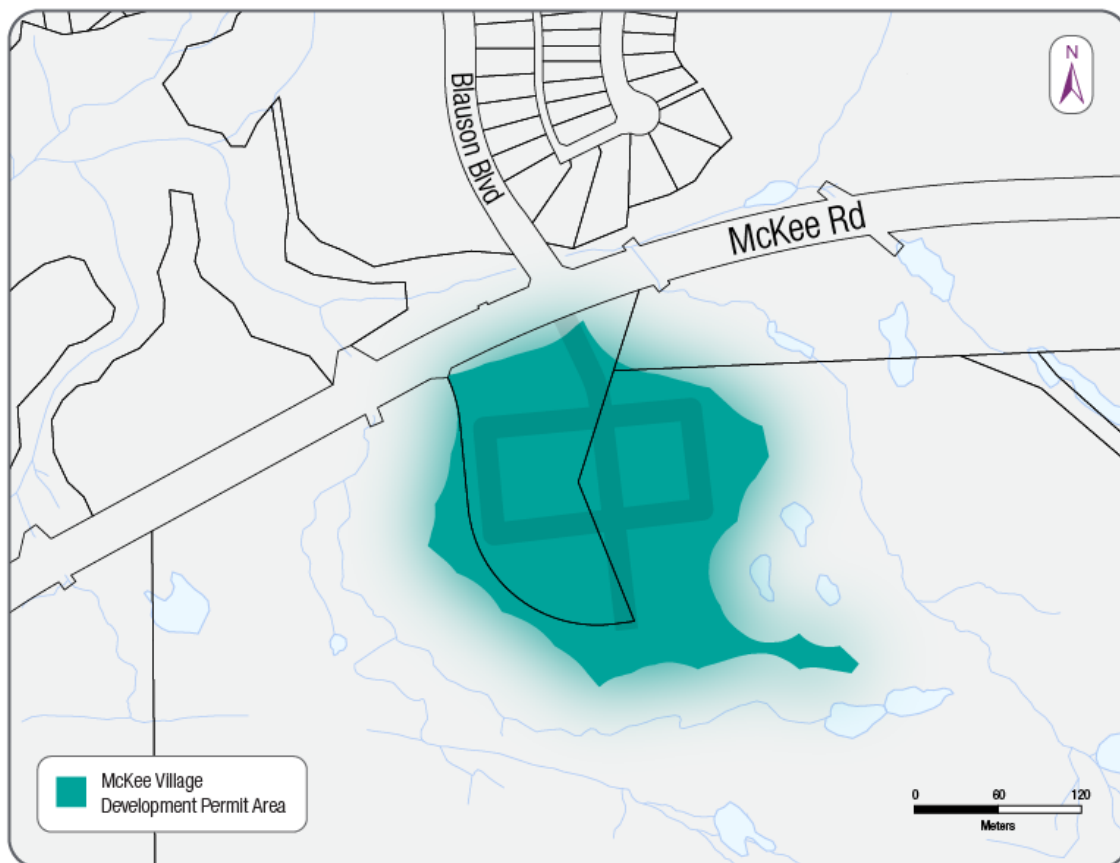
The McKee Development Permit Guidelines supersede the Development Permit Guidelines contained within the Official Community Plan. Where there are inconsistencies between the Official Community Plan Development Permit Guidelines and the McKee Development Permit Guidelines contained in this chapter, the latter will supersede.



## MCKEE VILLAGE DEVELOPMENT PERMIT GUIDELINES

### AREA

McKee Village guidelines apply to all development in the McKee Village land use designation, as indicated on Map 17.



Map 17. McKee Village Development Permit Area



## JUSTIFICATION

As the McKee neighbourhood develops, the McKee Village will act as the focal point for economic, cultural, and recreational opportunities in the community. It will be important for this area to have a distinct character that integrates the natural landscape into the everyday life of residents and visitors. This includes the integration of First Nation cultural elements and economic opportunities. This core area will become the vibrant centre of the neighbourhood by providing the widest range of uses and will actively support outdoor recreation activities including, but not limited to, mountain biking and hiking.

## OBJECTIVES

The following guidelines are intended to encourage the construction of a dynamic, livable neighbourhood that caters to daily commercial needs and outdoor recreational pursuits. Development in the McKee Village should seek to create a distinct 'village in the mountain' feel, which respects the natural environment.

## EXEMPTIONS

1. Subdivision
2. Interior Renovations
3. Façade renovations limited to repainting and recladding without changing the building roofline, footprint, or openings
4. Murals on building façades that do not face a public street, to the satisfaction of the City
5. Signage copy changes that do not change the sign structure
6. Minor landscaping improvements that do not reduce or remove amenity space
7. Emergency circumstances to remove an immediate danger
8. Buildings that have been destroyed by fire and/or natural disaster less than 75%, as determined by the building inspector, provided the building massing, siting and appearance are as prior to destruction and the use conforms to the City's Zoning Bylaw



## GUIDELINES

The following guidelines provide direction for all development in the McKee Village and may be applied when setting Development Permit conditions.

### Site Context

To guide the design of development sites that fit within the broader context of the McKee Village and are compatible with adjacent properties.

#### MV1 Neighbourhood Connectivity

Design the site to enhance direct pedestrian and bicycle connections in the area. Specifically, sites providing access to the trail network should ensure pedestrian and bicycle connections are a priority.

#### MV2 Neighbourhood Compatibility

Design mixed use development to be compatible, in terms of scale and design, with the surrounding natural environment, trail and park network, and future land uses.

#### MV3 Streetwall Continuity

Design commercial, residential, and mixed use areas with distinct, pedestrian friendly streetwalls by aligning architectural features and establishing patterns with neighbouring buildings.

#### MV4 Landscape Integration

Site and design development to integrate with existing significant natural features, topography, and vegetation.

#### MV5 Climate and Comfort

Maximize sun exposure to public open spaces, nearby buildings, and dwelling units through site planning and building height adjustment.

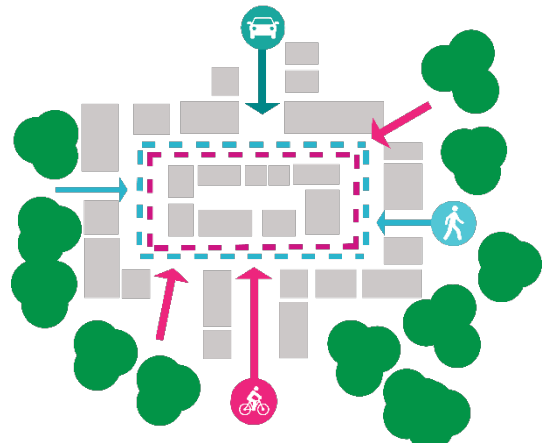


Figure 16. Neighbourhood Connectivity

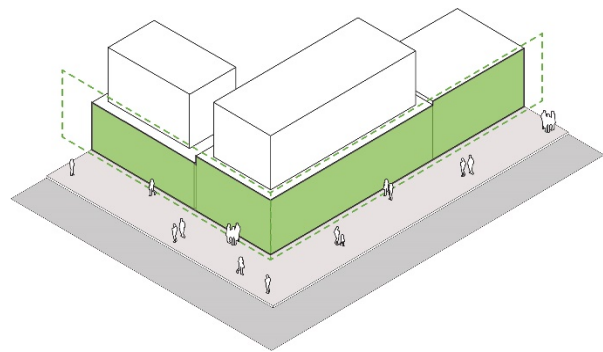


Figure 17. Streetwall Continuity

### Site Planning

To guide the design of development sites in the McKee Village with efficient circulation, safety and positive interfaces with public streets.

#### MV6 Defined Streetscape

Site buildings so they front and frame public streets. For corner sites, site buildings to front both streets.





**MV7 Hierarchy of Spaces**

Define the spaces that are public from those that are private, with elements such as patios, paving treatments, grade changes, fencing, or landscaping.

**MV8 Walking and Cycling Connections**

Connect main entrances and unit entrances to public sidewalks, trails, bicycle paths, parking areas, and adjacent residential and commercial sites with a minimum 2-metre wide pathway.

**MV9 Access to Transit**

Design buildings to provide direct access and clear sightlines to bus stops and the transit terminus.

**MV10 Public and Private Amenity Spaces**

Integrate usable public and private open spaces, including squares, parks, and roof top gardens. Locate these adjacent to active uses (cafes, shops, small businesses, etc). Provide benches, shelters, bicycle infrastructure (parking, wash stations, repair tools, water fountains, etc.) and other amenities near main entrances.

**MV11 Street Relationship**

Require that buildings either: front directly onto the street property line; or be set back to allow space for outdoor functions of the building occupancies.

**MV12 Views and Street End Vistas**

Orient views from buildings and open spaces towards prominent features including McKee Peak and the mountains to the north. Site architecturally significant buildings and/or provide strong massing where visible at the terminus of a street or walkway.

Ensure that McKee Peak is visible upon entering the McKee Village.

To maintain the mountainous feel of the neighbourhood, existing trees along the edge of the McKee Village should be retained as a 'green edge' to maintain a natural street end vista.

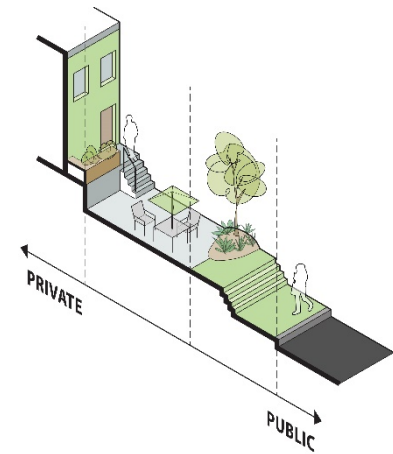


Figure 18. Hierarchy of Spaces

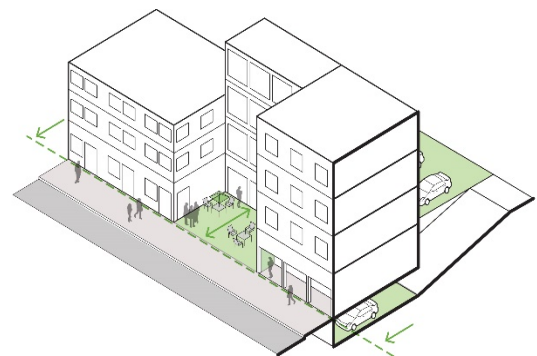


Figure 19. Street Relationship

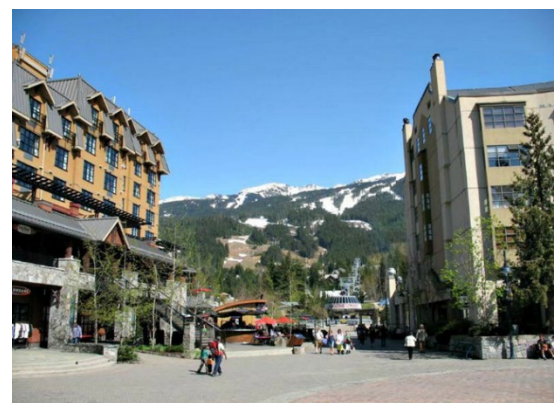


Figure 20. Views and Street End Vistas



**MV13 Site Grading**

Avoid the use of retaining walls. Step buildings along the length of a sloping street. When retaining walls are required, limit the height to 1.2 metres and terrace and landscape them.

**MV14 Public Overlook**

Ensure housing units, offices, and other upper floor uses overlook public spaces and connections such as trails, parkland, and strata roads to provide views over activity areas.

**MV15 Bicycle Parking**

Locate secured and weather protected bicycle parking near building entrances and lobbies, preferably on the main floor. Commercial buildings should also locate short-term secure bicycle parking in highly visible locations to encourage the use of bicycles for short trips within the McKee Village.

**MV16 Parking Location and Design**

Provide the majority of required off-street parking underground, with limited surface parking for commercial uses and residential visitors. Reduce the number of accesses by providing easements to adjacent properties. Parking for persons with disabilities must be easily accessible and centrally located.

Underground parking should not exceed grade level. Where it must be partially above grade, use attractive, high quality materials on the exposed structure and screen with landscaping.

Surface parking should be located beside or behind the building. When it is beside a building on a public street, it must not exceed 25 metres in length, including any accesses, and be visually deemphasized and screened with landscaping.

**MV17 Bear-Resistant Garbage, Compost and Recycling**

Incorporate bear resistant containers for garbage, compost and recycling internally within buildings where possible. Otherwise, locate them behind or beside buildings in secure containers. Screen them with attractive, high quality materials and architectural treatments that are complementary with the associated building(s).

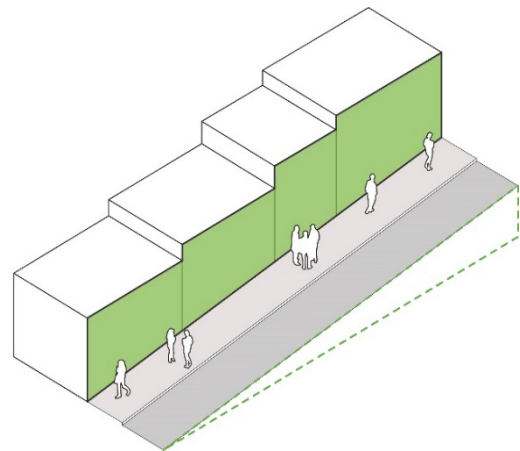


Figure 21. Site Grading



Figure 22. Bicycle Parking



**MV18 Loading Areas**

Make loading areas and facilities accessible to service vehicles without interfering with pedestrian and cyclist circulation, and screen them with landscaping with fencing. Locations within buildings or with rear accesses are preferred.

**MV19 Drive Thru Facilities**

Drive thru facilities for any purposes are not permitted.

**MV20 Street Name Signage**

Street name signs to be provided in both English and Halq'eméylem, and be representative of the traditional place names in consultation with local First Nations.



Figure 23. Street Name Signage

**MV21 Artwork**

Artwork is encouraged and should be located in a prominent location on or around a building. Artwork should be representative of the surrounding mountain and forest landscape, and should be selected in consultation with the City and local First Nations.

**Building Design**

To guide the design of buildings that are people focused, attractive and functional with the streets in the McKee Village.

**MV22 Building Length and Height**

Buildings should not exceed 90 metres in length along public streets. Buildings must exhibit a minimum three storey expression, either in terms of height or actual storeys.

**MV23 Corner Buildings**

Design a building at the corner of two streets to front both streets. Strongly mass the building at its corner to exhibit a visually prominent, landmark architecture.

**MV24 Scale Transition**

Incorporate complementary building forms and transitional heights to harmonize with the height and scale of adjacent buildings, especially when next to lower density residential land use designations.

**MV25 Grade Transition**

On sloping sites, step ground floor slabs to ensure a level transition between the sidewalk and the building/storefront entrances. Similarly, design the roofline to follow the slope of the site.





### MV26 Architectural Interest

Vary building materials, colours, rooflines, and other architectural components. Establish a rhythm to the streetscape by integrating vertical elements and breaks in the façade of a building. The use of Post and Beam architectural elements is strongly encouraged. Use red, black and white as accent colours for architectural features, in alignment with local First Nations culture. Collaboration with Indigenous architects and/or artists is encouraged.

Visually break down the length of a building in larger projects by establishing a vertical emphasis in the façade treatment. Provide depth and variety to the building mass through the use of elements such as balconies, moldings, cornices, and porches.



Figure 24. Architectural Interest

Large, blank, flat street facing walls, and large expanses of singular materials are not permitted.

### MV27 Building Materials

In keeping with the thematic visual elements of the McKee Village, the use of natural wood accents, specifically cedar should be used where possible. Ground floor levels should be clad in a different material than upper levels to provide a visual break in the façade. Vinyl siding is not permitted.



Figure 25. Building Materials

### MV28 Self-Contained Uses

For mixed use buildings, separate and distinctly design entrances for upper storey uses from the entrances to ground floor commercial uses. Design buildings to ensure each different use is self-contained, with a focus on security for residential uses.

### MV29 Building Entrances

Provide well-lit and visually prominent entrances. Main commercial and residential entrances must face the street and connect directly to the public sidewalk. Large recessed entryways should be avoided.

### MV30 Retail and Transparent Fronts

Design street facing ground level storefronts and lobbies to promote visibility with large amounts of transparent glazing. Do not obscure ground level facades with reflective glazing or excessive window signage.



**MV31 Residential Ground Floor**

In residential buildings, incorporate ground-oriented units along public streets. Design each unit with an individual front door accessible from the street. Where grades permit, elevate the entrance 0.5 metres from the public right-of-way for privacy.

**MV32 Residential Building Setback**

Set back residential ground floors from the street property line to enable privacy and broaden pedestrian facilities, and to allow for front patios, courts, and gardens for ground floor units. Upper floors may step back further to accommodate outdoor balconies or decks.

**MV33 Rooftops**

Landscape rooftops and make them accessible to residents as usable common/private outdoor space and install water and electrical services for their functional use. Screen or enclose mechanical equipment and appurtenances on rooftops.

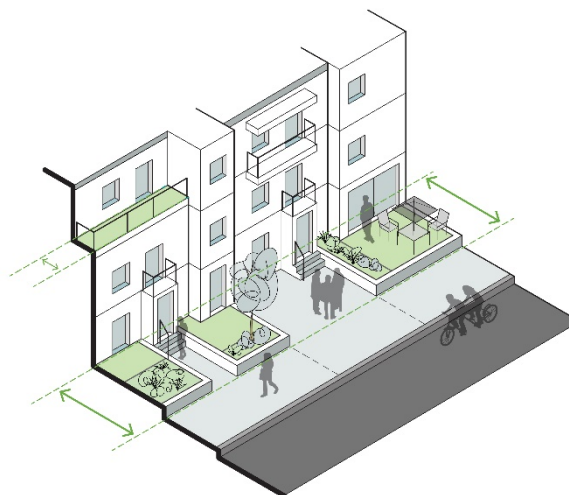


Figure 26. Residential Building Setback

**MV34 Accessibility**

Design buildings and entrances to address the functional needs of persons with disabilities including those who are mobility, visually, and hearing impaired, and/or have reduced strength or dexterity.

**MV35 Weather Protection**

Provide weather protection along the street frontage of buildings. Commercial uses must have weather protection that may be adapted to the building context with occasional breaks, and 2.0 metres of depth is desirable. For residential uses, weather protection may be used more sparingly to highlight windows or other façade features, but must be provided at building entrances.

**MV36 Integrated Signage**

Directly integrate signage into building façades. Design signage to be architecturally consistent with associated buildings.

*Landscaping*

To guide the design of landscaping for a development's natural beauty, legibility, and ecological sustainability.

**MV37 Visual Interest**

Provide landscape elements to enhance visual interest and define the pedestrian experience. These should integrate with the surrounding natural environment, architectural details of the building's street front and screen elements such as parking, loading, utility areas and garbage enclosures.





**MV38 Public Realm**

Design the spaces between buildings and street curbs as safe, convenient and interesting people places. Integrate the surrounding natural environment forest and mountain features into the public realm where possible. Enliven the public realm with attractive amenities for outdoor adventure enthusiasts such as bicycle racks, water fountains, bicycle repair tools, etc. Seating, plantings, transit shelters, public art and water features are also encouraged. Street and site furnishings should be designed to meet the needs of a wide range of users including children, seniors, and persons with disabilities.

**MV39 Climate and Comfort**

Strategically plant trees, shrubs, and other vegetation to protect from high winds and excessive heat.

**MV40 Context**

Use landscape materials that respect and align with the context of neighbouring properties and the overall form and character of the neighbourhood.

**MV41 Tree Retention**

Where possible, preserve mature trees and significant specimens and integrate them with new landscaping and buildings.

**MV42 Tree Plantings and Canopies**

Ensure tree plantings match site conditions. Consider soil volume, tree siting, and mature tree size, and plant appropriate tree species that align with the conditions and overall plan objectives. Where sightlines are required, use tree species that allow for a canopy at least 2.0 metres in height.

**MV43 Tall Hedges**

Tall, visually concealing hedges along public sidewalks and streets are not permitted.

**MV44 Native Species**

Where appropriate, use native and drought tolerant plant and tree species.

**MV45 Fence Height and Design**

Use materials that integrate the surrounding natural environment into the built environment of the McKee Village; this may include rock fence, wood fences, or split rail. Keep fences below 1.5 metres along public streets. Chain link fences are not permitted along public streets.



Figure 27. Fence Height and Design



### *Lighting*

To guide the design of lighting for the protection of residents and environmentally sensitive areas from light pollution and for a development's security.

#### **MV46 Light Pollution**

Avoid light pollution by directing lighting downwards and using full cut off fixtures with horizontally aligned flush mounted (non-protruding) lens. Lights in the vicinity of environmentally sensitive areas should be minimized by directing lighting away from these areas.

#### **MV47 Pole Mounted Lighting Height**

Place lighting fixtures no higher than 6.0 m from the ground.

#### **MV48 Pole Mounted Lighting Orientation**

Direct lighting fixtures on the perimeter of a site 45 degrees downwards away from adjacent residential uses with a side-to-side horizontal aiming tolerance of no more than 22.5 degrees. Lighting fixtures located inside the perimeter may be lit at 90 degrees from the pole.

#### **MV49 Up-lighting**

Use up-lighting sparingly and only for accenting architectural elements or landscape features.

#### **MV50 Sensor Activated Lighting**

Use sensor activated lighting for security lighting.

#### **MV51 Even Wash**

Create an even wash of light across surfaces desired to be lit that are not adjacent to rural and residential uses.

#### **MV52 Nighttime Use**

Do not light areas not intended for nighttime use. Focus lighting on popular pathways that provide key connections between destinations that people desire to use at night.

### *Commercial Streets*

To guide the design of commercial streets in the McKee Village to create a pedestrian and cyclist friendly environment.



**MV53 At-Grade Entrances and Height**

Provide individual commercial unit entrances at grade and be directly accessible from the public sidewalk. The height of the ground floor should be 3.5 – 5.5 metres to facilitate a long-term range of commercial uses while maintaining pedestrian scale

**MV54 Minimum Transparency**

Provide a minimum of 80% transparent glazing at the ground level, including entrances. No more than 25% of the glazing may be signage.

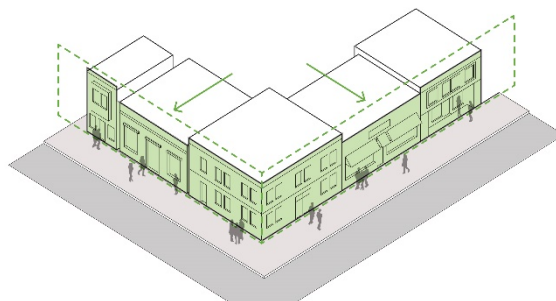


Figure 28. Build-to and Setbacks

**MV55 Building Build-to and Setbacks**

Front all buildings directly onto the street to provide a continuous street wall reinforcing the continuity of retail fronts and building facades along the street. A maximum setback of 3.0 m is allowed to provide space for elements such as outdoor seating, commercial spill out, and weather protection.

**MV56 Setback Treatment**

Locate seating close to building entrances. Similarly, locate store display areas, restaurant menu displays and sandwich boards within the setback.

Ensure that paving schemes in (or planned for) the public street right-of-way extend into the setback to provide visual uniformity.

Use a continuous paving band to demarcate the private realm from public realm, and areas used for outdoor display, patios and awnings.

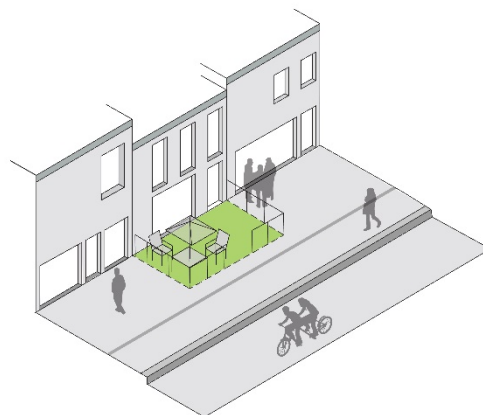


Figure 29. Patios

**MV57 Patios**

Locate commercial patios adjacent to the street, or on building rooftops. Railings should have a complimentary design that considers the immediate and adjacent building architecture, and street and public realm standards.

**MV58 Weather Protection**

Provide continuous 2.0 m deep weather protection. A minimum height clearance of 3.0 m is required to not obstruct pedestrians, and where possible they should be designed to avoid rainwater dripping directly on the travel path of pedestrians and cyclists.



**MV59 Signage**

In addition to MV35, use building signage that is focused on a pedestrian environment to facilitate a commercial street experience.

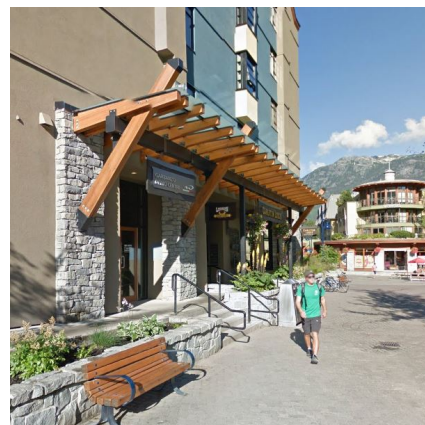


Figure 30. Weather Protection



Figure 31. Concept Rendering - McKee Village Streetscape





## STEEP SLOPE DEVELOPMENT PERMIT GUIDELINES

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### AREA

Subdivision or alteration of land (including grading, tree clearing, and installation of services); and construction of, addition to, or alteration of a building or structure that occur in areas shown on Map 18 are subject to these Steep Slope Development Permit Guidelines. The areas shown on Map 18 include:

- land with slopes of 20% or greater
- land within 20 m of slopes that are 20% or greater

### JUSTIFICATION

As the McKee neighbourhood grows, development will occur in areas with steep slopes where the potential risk of natural hazards such as landslides, erosion, debris flows, etc. present a danger to people and their property. Steepness of slopes does not necessarily correlate with stability of slopes, which depends on factors such as geological material, soils, moisture content and vegetation cover. However, precautions are needed to ensure development activity or resulting retaining structures do not create hazardous conditions.

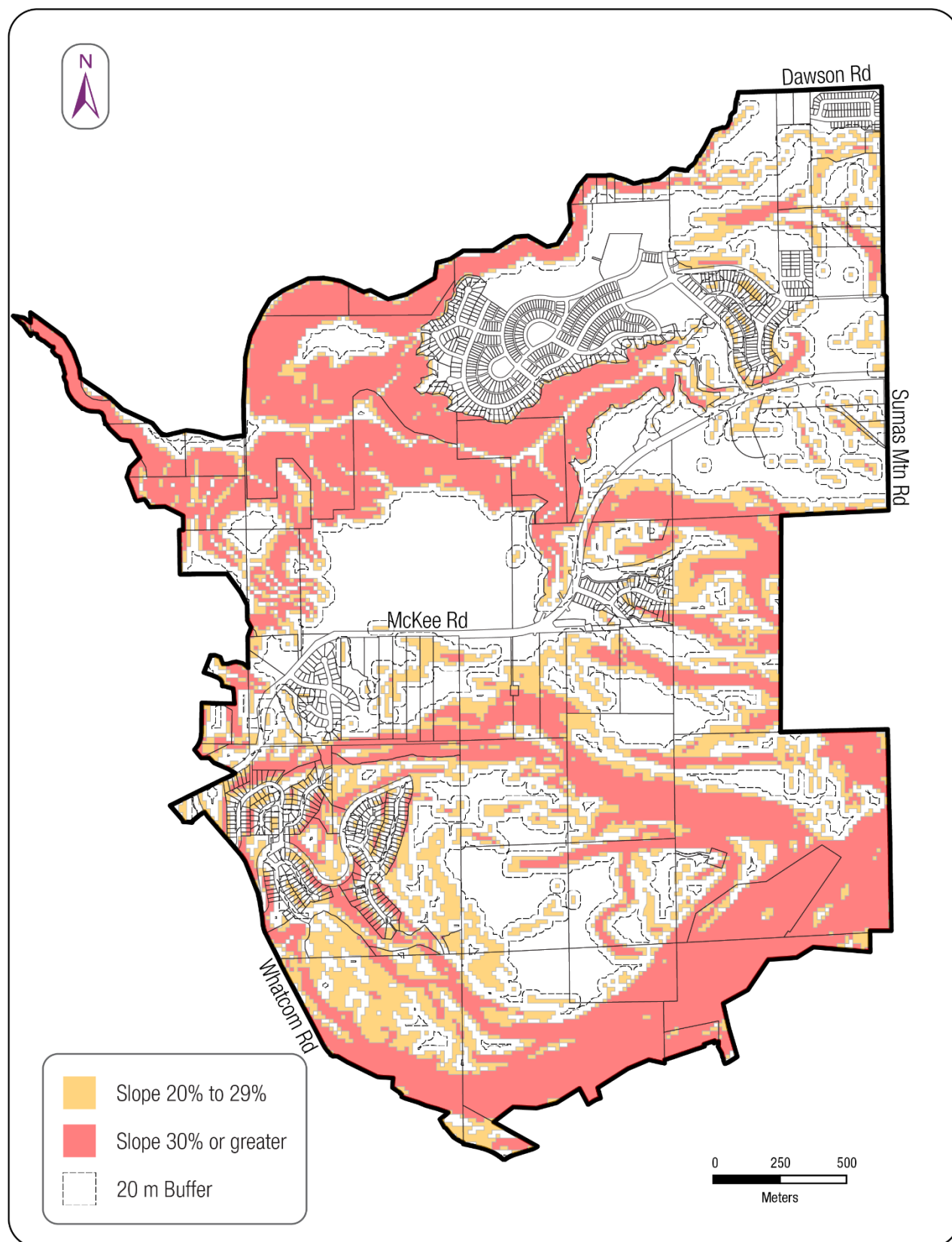
Throughout the planning process, the plan area was celebrated for its natural beauty, environmental quality, and prominent views. In order to sensitively integrate new development into this context, development on steep terrain will also be reviewed for form and character. This approach to hillside development includes strategies for preserving significant natural features, suitable grading and massing techniques, and good site design.

### OBJECTIVES

The following guidelines allow for land to be used for its intended purposes, while also protecting residents and property from the potential risk of natural hazards and preserving the natural hillside character. In many cases throughout the neighbourhood, development on or near steep slopes is unavoidable and requires measures during site and building design, construction, and long term maintenance to minimize the associated risks and ensure a high standard of design.







Map 18. Steep Slope Development Permit Area



## EXEMPTIONS

Notwithstanding the following exemptions, the Community Charter enables a building inspector to require a geotechnical report.

1. A subdivision for lot consolidation or road widening
2. Construction, addition or alteration not exceeding 10 m<sup>2</sup> (100 ft<sup>2</sup>) where no variance(s) is (are) required
3. Notwithstanding exemption 2, all interior/exterior building alterations that do not expand the existing building foundation
4. Buildings that have been destroyed by fire and/or natural disaster less than 75%, as determined by the building inspector provided the building massing, siting and general appearance are as prior to destruction and the use conforms to the Zoning Bylaw
5. Emergency circumstances to remove any immediate danger
6. Municipal works, services and maintenance activities carried out by, or on behalf of, the City generally in accordance with these guidelines
7. A restrictive covenant which effectively protects the property from the hazardous condition(s) is (are) already registered on the subject property, all the conditions in the covenant are met, and the proposed activity will not affect any portion of the hazardous conditions
8. Where the proponent provides satisfactory information to the City that clearly demonstrates that the proposed activity will not be in conflict with the Development Permit Guidelines. The determination may need to be by a qualified professional, which concludes that the portion of land being developed is not subject to hazardous conditions

## GUIDELINES

The following guidelines may be applied when setting Development Permit conditions.

### *Hazardous Conditions*

To identify parts of a parcel that require special consideration.

#### **MSS1 Slope**

Avoid developing on land with slopes over 30%. Development may be considered on slopes greater than 30% where it can be demonstrated that the proposed development will not create environmental or visual impacts, can be sensitively integrated with terrain, and presents no hazards to persons or property.

#### **MSS2 Unique Hazards**

Identify unique hazards such as abandoned mine shafts and implement mitigation measures to deal with the hazardous conditions.



### *Conditions for Development*

To establish general conditions and expectations of development in areas with steep slopes.

#### **MSS3 Geotechnical Assessment Report**

A Geotechnical Assessment Report is required for a parcel subject to a Steep Slope Development Permit to determine any risks from natural hazards and any required mitigation measures to the satisfaction of the City. All steep slopes on the subject site should be assessed as part of a Geotechnical Assessment Report, regardless of whether development or site alteration activity will occur on the particular steep slope(s). A third party peer review of a Geotechnical Assessment Report may be required at the expense of the applicant.

#### **MSS4 Slope Protection**

Protect slopes identified as unsuitable for development by a Geotechnical Assessment Report through measures such as dedication to the City, establishing a restrictive covenant, or rezoning to the satisfaction of the City.

#### **MSS5 Mitigation and Conditions**

Do not develop in areas with a potential for natural hazard, unless a qualified geotechnical professional provides recommendations for:

- mitigation measures to reduce risk of natural hazards for both the subject site and any adjacent and/or other potentially affected areas to an acceptable level during all stages of development;
- conditions (i.e. conditions relating to the permitted uses, density or scale of building) necessary to reduce risk of potential natural hazards to acceptable levels.

#### **MSS6 Minimum Setback from Steep Slopes**

Ensure all development, in addition to septic fields, swimming pools, hot tubs, ponds, or other uses at or near the top or base of steep slopes is set back a minimum of 10 metres from the top or base of any steep slope except as otherwise recommended by a qualified professional. Where development is near steep slopes greater than 30%, increase setback to a minimum of 15 metres except as otherwise recommended by a qualified professional.

### *Alteration of Slopes*

To guide the alteration of slopes to reduce the risk of potential natural hazards to the property and its surroundings.

#### **MSS7 Road Alignment**

Align roads to follow natural site contours, conforming to existing topographic conditions rather than cutting across contours.

#### **MSS8 Grading**

Provide site grading that is smooth and stable. Finished slopes of all cuts and fills should not exceed a three-to-one (3:1) grade unless the applicant can demonstrate that steeper slopes can be stabilized and maintained adequately.



**MSS9 Undercutting**

Avoid undercutting the base of steep slopes for building, landscaping or other purposes except in accordance with the recommendations of a qualified professional.

**MSS10 Location of Fill**

Ensure fill is not located within 10 metres of the top of a steep slope.

**MSS11 Retaining Wall Height**

When designing retaining walls, respect the natural characteristics of the site and terrace walls to avoid overpowering the site with a large uniform wall face. As a general guide and where practical, retaining walls should not exceed 3.0 metres in height adjacent to roads and services and 1.2 metres in height between individual properties.

**MSS12 Retaining Wall Terraces**

Terrace retaining walls with sufficient width to allow plantings and maintenance. The height and depth of the retaining wall steps should be consistent with the natural terrain or with the slope above and below the walls. Lock block style retaining walls are not permitted.

**MSS13 Building Forms and Massing**

Step and articulate building forms and integrate and reflect the natural site contours and slope conditions. Avoid large unbroken building masses unsuitable for sloped conditions.

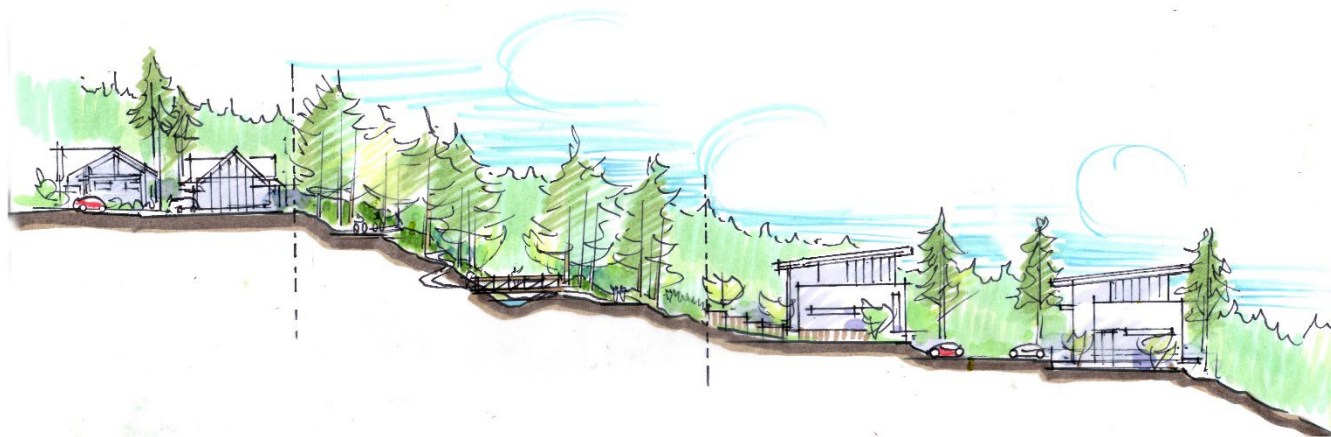


Figure 32. Concept Rendering - Building Forms and Massing

**Landscape**

To guide the design of landscaping for the mitigation of hazardous conditions on a property with a steep slope.

**MSS14 Vegetation Maintenance and Reinstallment**

Maintain and/or reinstall vegetation on the slopes and within any required setback above the slopes in order to absorb water and minimize erosion.



**MSS15 Slope Reinforcement**

Reinforce and revegetate disturbed slopes, especially where gullied or where bare soil is exposed, as soon as possible. Plant in accordance with the recommendations of a qualified professional. Ensure monitoring and maintenance of restored areas by qualified professionals until such time as the vegetation is established.

**MSS16 Native Species**

When revegetating steep slopes, plant species native to the Coastal Western Hemlock Biogeoclimatic Zone.

**MSS17 Tree Removal**

Avoid tree removal on steep slopes and retain trees as much as possible elsewhere.

**MSS18 Maintenance and Monitoring**

Maintain and monitor mitigation measures to ensure that the works are completed in accordance with the Development Permit.

***Drainage and Erosion Control***

To implement the use of sound stormwater management practices for the mitigation of hazardous conditions on a property with steep slopes and its surroundings.

**MSS19 Stormwater Management Plan**

A drainage or stormwater management plan assessing the collection, conveyance and control of stormwater on and off site is required in order to mitigate potential impacts on slopes, particularly downstream drainage routes. The plan shall be reviewed to the satisfaction of the City.

**MSS20 Site Drainage**

Design and maintain property, roof drainage and landscaping to shed water away from slopes. Lots should be graded towards the street, directing water away from slopes. Avoid ponding near slopes.

**MSS21 Erosion and Sediment Control**

Where appropriate, follow erosion and sediment control measures in accordance with the Erosion and Sediment Control Bylaw. Use erosion control mechanisms during the construction of all developments to minimize the flow of sediment into the surrounding environment.

**MSS22 Road Surfaces**

Roads should provide adequate surface drainage, avoid alteration of natural drainage patterns, and should be kept to minimum width and length to minimize the area of disturbance.

**MSS23 Irrigation**

Limit the use of irrigation. Where irrigation is essential, employ water conserving principles in the design of the irrigation system. Provide automatic shut-off valves for irrigation systems to reduce the risk of accidental erosion in the event of a system failure.





**MSS24 Rockfall, Debris Flow, Landslide Mitigation**

Mitigation recommendations by a qualified professional are required for rockfall, debris flow and landslide hazards for the subject property and any other potentially affected properties. The report should provide direction for modifications, including blasting techniques, and to verify overall slope stability, hazard mitigation and long-term maintenance requirements.

**MSS25 Phasing**

Phase land clearing to minimize the area exposed to loss and erosion at any one time.

**MSS26 Natural Drainage Patterns**

Ensure that natural drainage patterns are protected where possible. Modifications must not cause adverse impacts on adjacent lands.

**MSS27 Direction of Flow**

Flows should be contained by capturing roof and pavement drainage and conveying it to a comprehensive site drainage system that anticipates off-site drainage impacts.

**MSS28 Impervious Surfaces**

Reduce run-off and erosion by minimizing impervious surfaces.

**MSS29 Detention Facilities**

Stormwater should be collected and conveyed to a detention facility in a manner which avoids negative impacts to natural features or adjacent properties.

**MSS30 Source Controls**

Construct stormwater source controls to maintain baseflows and minimize downstream erosion and habitat degradation. Examples of source controls include: rain gardens, vegetated swales, pervious pavers, absorbent soil layers, green roofs, and rainwater harvesting. Source controls are not permitted in geotechnical setback areas unless approved by a geotechnical engineer.

**MSS31 Peak Flow Control**

Pipe new stormwater run-off to ravine bottoms to minimize bank erosion and instability.

*Site Context*

To guide the design of development sites within the unique hillside character of the neighbourhood.

**MSS32 Site Design**

Design a project to fit the site rather than altering the site to fit the project.

**MSS33 Cluster Development**

Cluster development as a means to minimize slope disturbance. Minimize density on the steepest slopes and cluster more density on flatter areas to reduce visual and structural impact.



### MSS34 Lot Configuration

Use variation in lot sizes and subdivision layout to reflect the natural site contours, minimize cut and fill, and maximize developable areas. Do not create large flat terraces on hillsides to expand developable area.

### MSS35 Ridgelines

Development must be sited below ridgelines, and should avoid the placement of roads, clear cuts, and large or continuous buildings on or over ridgelines. Trees and other vegetation on ridgelines should be retained as much as possible, so that the ridgeline is seen predominantly as a continuous line of natural terrain or vegetation.

### MSS36 Sightlines

Design ground floor elevations and heights to be sensitive to adjacent properties and neighbouring sightlines. Optimize view corridors using staggered lots, strategic road placement, sensitive lot grading and appropriate landscaping.

### *Building Design*

To guide the design of buildings that are people focused, attractive and responsive to the unique hillside character of the neighbourhood.

### MSS37 Building Height

Limit building heights to the height of the existing tree cover and no higher than natural ridgelines.



Figure 33. Building Height



## WILDFIRE HAZARD DEVELOPMENT PERMIT GUIDELINES

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### AREA

Subdivision or alteration of land (including grading, tree clearing, and installation of services); and construction of, addition to, or alteration of a building or structure that occur within the neighbourhood plan boundaries are subject to these Wildfire Hazard Development Permit Guidelines (Map 19).

### JUSTIFICATION

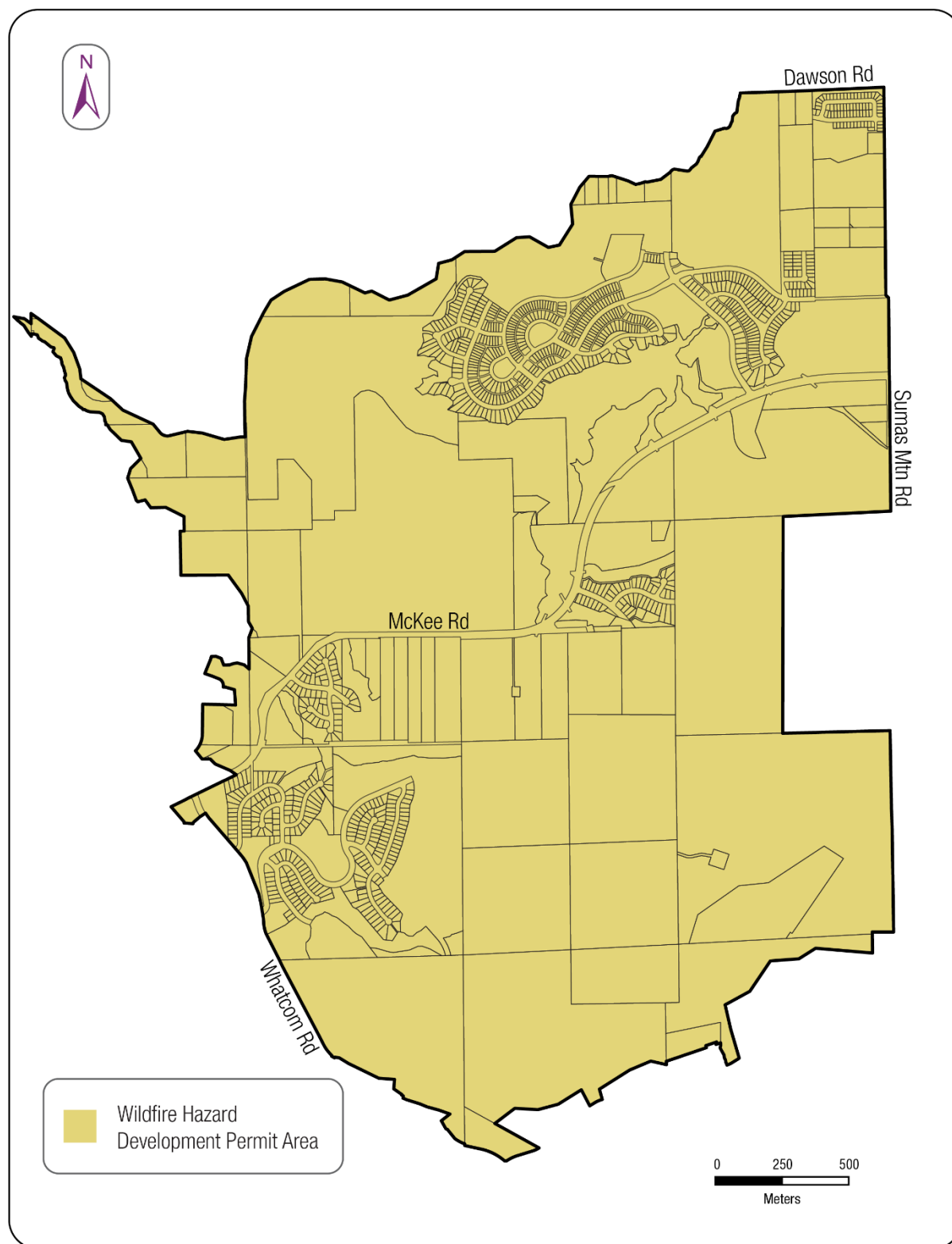
The McKee neighbourhood is located along the City's Wildland Urban Interface, and development adjacent to forested slopes may be exposed to wildfire risk areas. Wildfires are able to spread rapidly from forests to homes if unable to be controlled. Conversely, once the neighbourhood becomes developed, the surrounding wildland areas may be at a greater risk of fire exposure. Wildfires present a danger to people and their property, and to the diverse forest ecosystems within and beyond the plan area.

### OBJECTIVES

The following guidelines are intended to adapt FireSmart principles and wildfire management and prevention best practices for development within the McKee neighbourhood, ensuring that:

- wildfire risk to people and property is minimized
- risk of fire to surrounding forests and ecosystems is minimized
- conditions affecting potential fire behaviour are managed and wildfire hazards are reduced





Map 19. Wildfire Hazard Development Permit Area

## EXEMPTIONS



1. Construction, addition or alteration not exceeding 10 m<sup>2</sup> (100 ft<sup>2</sup>) where no variance(s) is (are) required
2. Notwithstanding exemption 2, all interior building alterations that do not expand the existing building foundation
3. Emergency circumstances to remove any immediate danger
4. Municipal works, services and maintenance activities carried out by, or on behalf of, the City generally in accordance with these guidelines
5. A restrictive covenant which effectively protects the property from the hazardous condition(s) is (are) already registered on the subject property, all the conditions in the covenant are met, and the proposed activity will not affect any portion of the hazardous conditions
6. Where the proponent provides satisfactory information to the City that clearly demonstrates that the proposed activity will not be in conflict with the Development Permit Guidelines. The determination may need to be by a qualified professional, which concludes that the portion of land being developed is not subject to hazardous conditions
7. Development applications in-stream at the time of bylaw adoption

## GUIDELINES

The following guidelines may be applied when setting Development Permit conditions.

### *Hazardous Conditions*

To identify hazards to property that require special consideration.

#### **WH1 Wildfire Risk Areas**

Site new buildings, structures, and building additions as far away as reasonably possible from contiguous forested areas, ridgelines, cliffs, and ravines. If permanent structures already exist, avoid building between existing structures and wildfire risk areas.

#### **WH2 Emergency Access**

Enable adequate road access to isolated developments in the event of evacuation or fire control. Site buildings and design roads to accommodate emergency vehicles and equipment.

### *Conditions for Development*

To establish general conditions and expectations of development in areas with wildfire hazards.





**WH3 Wildfire Hazard Assessments**

A Wildfire Hazard Assessment Report conducted by a Registered Professional Forester, Registered Forest Technician, or Registered Professional Engineer qualified by training or experience in fire protection may be required and reviewed to the satisfaction of the City.

**WH4 Tree Assessment, Retention & Restoration**

A tree assessment and retention/restoration plan conducted by a qualified professional may be required and reviewed to the satisfaction of the City.

**WH5 Restrictive Covenants**

Any registered covenants on title should notify future property owners of any of the following landscaping and building requirements.

*Building Materials*

To minimize wildfire risk through the use of fire-resistive building materials and construction practices.

**WH6 Roofing**

Use fire resistant or fire retardant roofing material as referenced in the current BC Building code.

**WH7 Eaves, Vents & Openings**

All eaves, vents, and openings under floors should be screened with non-combustible materials.

**WH8 Windows**

Windows should be tempered or double-paned. Minimize number and size of windows on the building face(s) most exposed to the wildland-urban interface or increase clearance distances between windows and vegetative fuels.

**WH9 Exteriors**

Use fire-resistive materials for all exterior siding. Untreated wood and vinyl siding are not permitted.

**WH10 Decks, Balconies & Porches**

Sheath decks, balconies and porches with fire-resistive materials.

**WH12 Wood-Burning Appliances**

Wood-burning fire appliances are not permitted.

**WH13 Accessory Buildings**

Consider constructing garden sheds and other small accessory structures with non-combustible materials.

*Landscaping*

To minimize wildfire risk by eliminating fuel and combustible debris using landscape design and maintenance.



**WH14 Priority Zones**

If deemed necessary by a qualified professional for the purpose of reducing wildfire risk, maintain a 10 metre radius around all structures to include only fire-resistant plants and materials. Consult the current FireSmart BC Guide to Landscaping for planting types and recommendations for priority zones beyond 10 metres.

**WH15 Fire Breaks**

Incorporate fire breaks into developments by strategically locating cleared parkland, detention ponds, and roads between wildfire risk areas and development sites.

**WH16 Sprinklers**

In areas where strata roads create limited access to properties, a requirement for residential fire sprinklers should be considered.

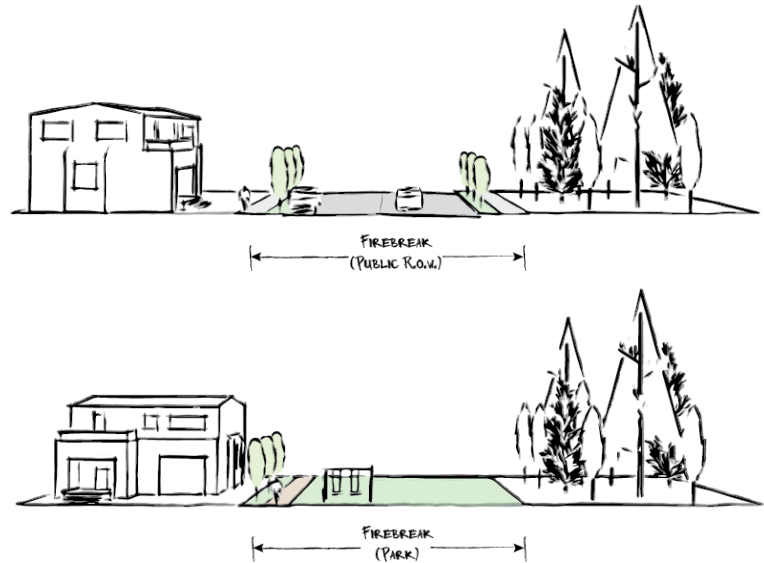


Figure 34. Fire Breaks





## PART 5 INFRASTRUCTURE

TRANSPORTATION

PARKING

SERVICING





## TRANSPORTATION

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The Neighbourhood Plan establishes a foundation for the phasing of development in McKee, and this will provide an opportunity for walking, cycling, and transit to become easy transportation choices. Streets in the McKee Village have been designed as complete streets, where all modes (walking, cycling, transit, and vehicles) can safely and comfortably move throughout the neighbourhood. Streets in the neighbourhood will become more attractive, vibrant, and interesting places with sidewalks, street furniture, street trees, and wayfinding signs.

### Pedestrians

Walking will be encouraged as a primary mode of transportation within the neighbourhood to access daily needs. Sidewalks will be required in residential areas of the neighbourhood, with pedestrian connection points to access trailheads. Trails within the Open Space network will be used for pedestrian access between neighbourhoods within McKee that are unable to connect with streets.

#### 5.1 Reduce Crossing Distances

Reduce crossing distances on local streets, and where possible on collector streets, by introducing curb bulges and other appropriate sidewalk treatments at intersections.

#### 5.2 Wayfinding

Provide wayfinding at key intersections along McKee Road, in the McKee Village, and at trailheads.

### Cycling

The Open Space network will provide access for cyclists to connect to key destination points within the neighbourhood and beyond. This off-road cycling will be supported by the trails and appropriate road connections when necessary. Where a trail leads to a road, appropriate cycling infrastructure should support road cycling to connect to the nearest neighbourhood destination.

The McKee Village will cater to outdoor recreation activities, including mountain biking and cycling. There will be bicycle parking and wash stations to encourage the use of bicycles on the trail network.

#### 5.3 Cycling Network

Connect trailheads to roads with bicycle infrastructure, such as bike lanes, to ensure continuity of each trip.

#### 5.4 Pavement Demarcation

Demarcate areas of potential conflict between cyclists and other modes of travel through pavement markings along roads, and at intersection and crossings.

#### 5.5 End of Trip Facilities

The provision of end of trip facilities such as bicycle racks, lockers and access to public washrooms should be considered as part of development.

### Transit

A transit terminus will be located in the McKee Village to support the residential and commercial growth in the neighbourhood. In the northeastern edge of the City's Urban Development Boundary, the terminus will enhance transit accessibility for the neighbourhood in this central location. In addition, a transit loop will be added to the





neighbourhood once the extension of Westview Boulevard is constructed and there is sufficient development to support the route.

Streets will be designed to accommodate far side stops, as is BC Transit best practice. Transit stops will have bus shelters for an improved quality of trip, particularly in the rain.

### 5.6 Transit Terminus

Locate a transit terminus in the McKee Village in a location that facilitates transit and supports development.

### 5.7 Far Side Stops

Where possible, locate bus stops on the far side of intersections, and keep buses in traffic for stops to allow for optimal service.

### 5.8 Bus Shelters

Improve the comfort, safety and convenience of bus shelters in McKee to create a positive waiting experience for all transit users through targeted improvements such as weather protection, seating, lighting, and real time bus scheduling.

### 5.9 Timing and Design

The timing and design of both interim and ultimate transit routes, will be determined by BC Transit in consultation with the City of Abbotsford, and is subject to ridership demand in the plan area and available funding for the service.

## PARKING

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Strategic and sufficient parking for residents and outdoor recreation visitors will be essential to the success of the neighbourhood. It will enable visitors from elsewhere in the City and beyond to find safe parking that does not interfere with the parking needs and accessibility of residents. With additional residents, and increased visitors on the trails each year, on-street parking, trailhead parking, and small parking lots in key locations will enable the neighbourhood to thrive.

### 5.10 Underground Parking

Encourage all development in the McKee Village to locate required parking underground.

### 5.11 Maximize Parking

Maximize opportunities for permanent on-street parking throughout the neighbourhood by allowing parallel parking stalls on all public streets where sight lines permit.

### 5.12 Parking Pockets

Enable parking pockets to be built at identified trailhead locations (off street with gates).

### 5.13 Recreation Parking Lots

Build a parking lot for trail users in the McKee Village, and at the top of McKee Peak.



## SERVICING

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The servicing section of this plan outlines the road, water, wastewater, and stormwater systems to service the growth and development planned in McKee. The servicing is based on the land use map (see Map 3), which took into consideration land use analysis, and population projections. This information was used to inform modelling exercises for each of the infrastructure systems. To ensure that the servicing within the neighbourhood can be implemented, and allow the contemplated land use and density to be achieved, policies have been included within each servicing subsection. At the time of development application infrastructure systems are subject to further analysis and any adjusted infrastructure will not be considered an Official Community Plan amendment. This will enable infrastructure systems to be refined from further technical studies such as environmental and geotechnical without triggering an OCP amendment.

### 5.14 Servicing Re-Assessment

Any proposed land use or transportation network changes to what is shown in this Neighbourhood Plan may require re-evaluation or modification of servicing infrastructure.

## ROAD NETWORK

The road network was designed to provide access to development cells within the Neighbourhood Plan and to lands beyond. The internal roads identified will function as collector roads, and the local roads will be determined at the time of development application. The road network will align with the City's Development Bylaw, and with the Transportation Association of Canada (TAC) guidelines. Road grades are generally a maximum of 12% in most cases, however there are a few sections that were necessary to permit 15% to accommodate the steep mountain terrain. Given the topography, the road network will limit cut and fills, respect environmental setbacks, and minimize watercourse crossings.

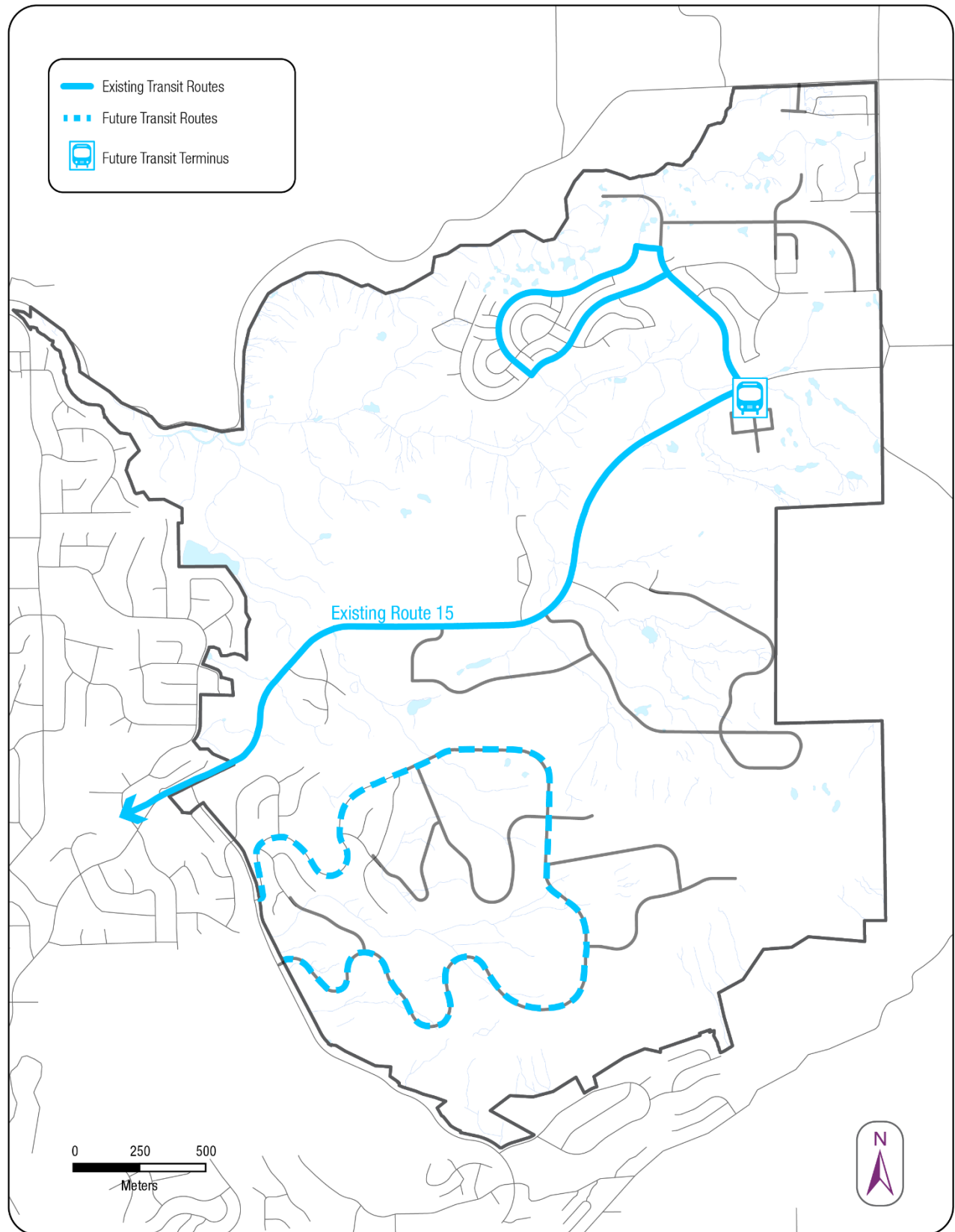
During Stage 2 of the McKee Neighborhood Plan, the internal road network was developed based on concept alignments within the proposed neighborhood boundary. The development of the internal road network determined key elements to provide transportation form which included intersections, access points, network circulation, and neighborhood connectivity. Establishing the internal road network for the McKee Neighbourhood Plan provides the interaction basis with the external transportation network to complete the multi-modal traffic impact assessment (TIA).

### Traffic Impact Assessment

During Stage 3, the multi-modal traffic impact assessment included the following major external roadways (included all key existing and future intersections along the corridor) in the immediate vicinity of the proposed McKee Neighbourhood to provide key connections to the City of Abbotsford to the west and with Highway 1 to the south:

- McKee Road
- Whatcom Road
- Sumas Mountain Road





Map 20. Transit Services



Traffic volume, growth, and distribution patterns developed for the study were determined from historical data collected.

Based on the developed internal neighborhood road network, existing external transportation network, and current understanding of the proposed McKee Neighborhood, the following key future road upgrades are anticipated:

1) Major Roadways

- McKee Road upgrade to 4-lane arterial (plus left turn lane)
- Whatcom Road upgrade to 4-lane arterial (plus left turn lane)

2) Intersections for Future Signalization

McKee Road

- Blauson Boulevard
- McKee Drive
- Ledgeview Neighborhood Access (New intersection)
- Buckingham Drive (Contingent on neighborhood build-out)
- Sumas Mountain Road (Contingent on neighborhood build-out)

Whatcom Road

- Westview Boulevard
- McKee Peak Neighborhood Access (New intersection)

3) Internal Roadways

- Collector road classifications

Other network capacity increases and localized intersection upgrades will be required along the external road network.

### 5.15 Lands Beyond Access Points

Access points to lands beyond and existing roads have been established and are shown on Map 21. By indicating access points to lands beyond, it facilitates development in a fair and equitable manner, and ensures that a collector network is possible given the steep terrain. These points are to provide guidance as to where roads should connect to lands beyond, but are not fixed points. Notwithstanding, City engineering staff will review proposed lands beyond points to ensure the integrity of the road network is maintained, and principles of fairness and safety are upheld.

Within developable lands, road alignments as shown on Map 21 are conceptual and can respond to proposed development, so long as the proposed network meets City Development Bylaw Standards.

### 5.16 Off-Set and Skew Intersections

All intersections must be perpendicular, in accordance with the Transportation Association of Canada (TAC) guidelines. Off-set and skew intersections will not be permitted.

### 5.17 Cut and Fill

Limit cut and fill, and reduce the impact where necessary.



### 5.18 Roads in Environmental Areas

Respect federal, provincial, and municipal environmental setbacks for roads, and reduce the impact of road construction in environmental areas.

### 5.19 Trans Mountain Pipeline

New roads crossings will not be permitted within the Trans Mountain Pipeline right-of-way.

### 5.20 Road Grades

Maintain a maximum road grade of 12% throughout the neighbourhood. To accommodate the steep mountainous terrain, 15% grade will be permitted in select scenarios and will be determined at the time of development.

### 5.21 Cross-Sections

Hillside neighbourhood standards will be applicable throughout the McKee neighbourhood as per City Development Bylaw Standards. Hillside collector roads will vary between 14.5 m to 20 m right-of-way. Similarly, hillside local roads will vary between 13.5 m to 16.5 m right-of-way. Areas not considered to be within hillside development areas will use typical urban cross-sections as per the City Development Bylaw.

## STORMWATER MANAGEMENT PLAN

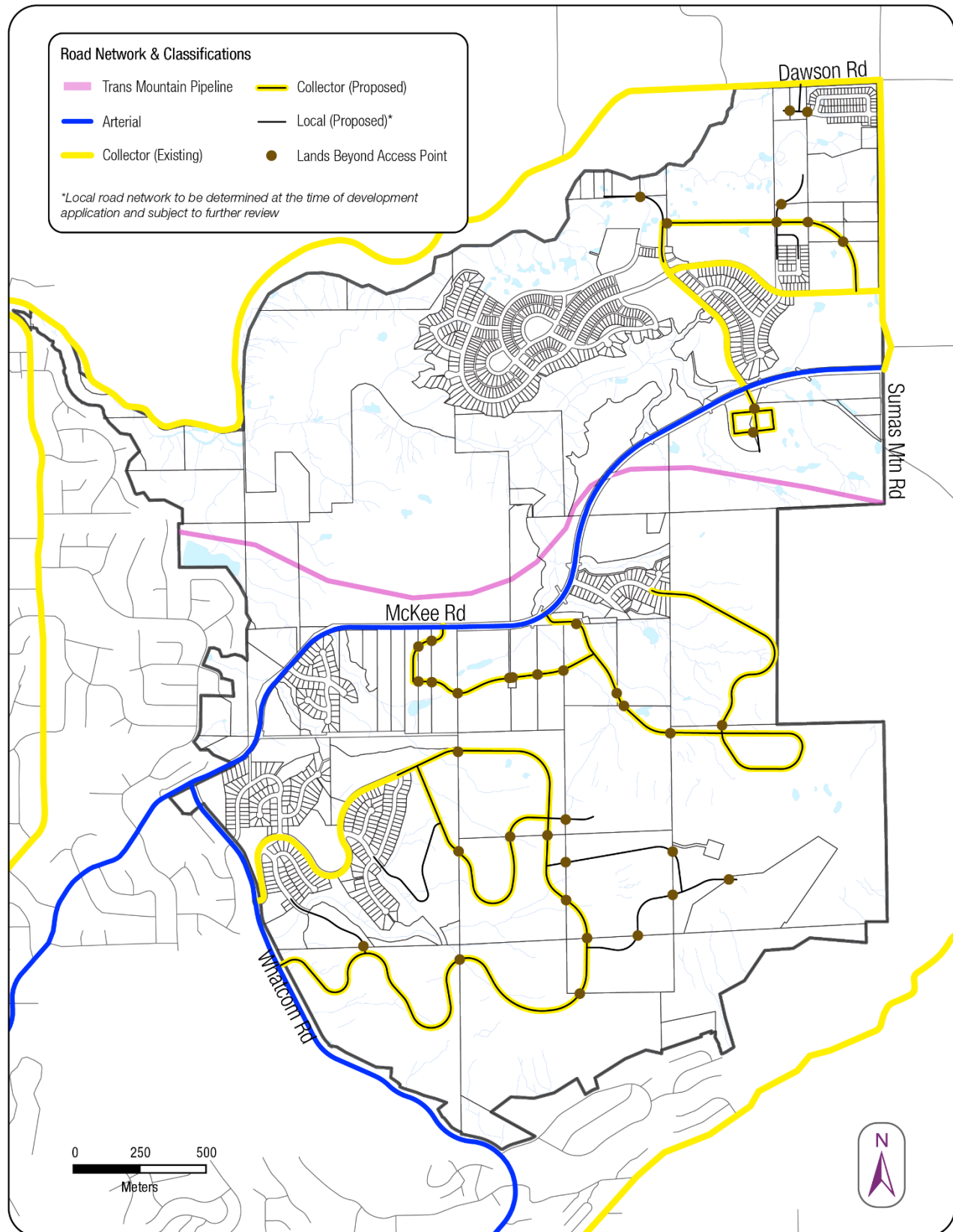
The primary goal of the proposed stormwater system is to efficiently capture and convey runoff from the development while protecting the health and well-being of the public and environment. The neighbourhood will use a community detention facility based system where all development within a catchment will contribute.

The proposed system is designed to mitigate and reduce the impacts of development on downstream infrastructure and habitat by reducing peak discharge rates and discharge volumes. Catchment sizes and boundaries have been kept as similar to existing boundaries as possible in order to maintain existing flow patterns. The components comprising the drainage system include:

- Underground storm sewer mains to collect and convey runoff from the various development zones proposed within the NP
- Detention systems (ponds and tanks) to control post-development flows to established targets for the 6-month, 2-year, 5-year, and 100-year pre-development return periods, or 5L/S/ha, whichever is less
- Low flow diversion structures designed to maintain the existing flow to existing watercourses where necessary
- LID measures located throughout the development to provide stormwater retention in order to meet runoff volume targets

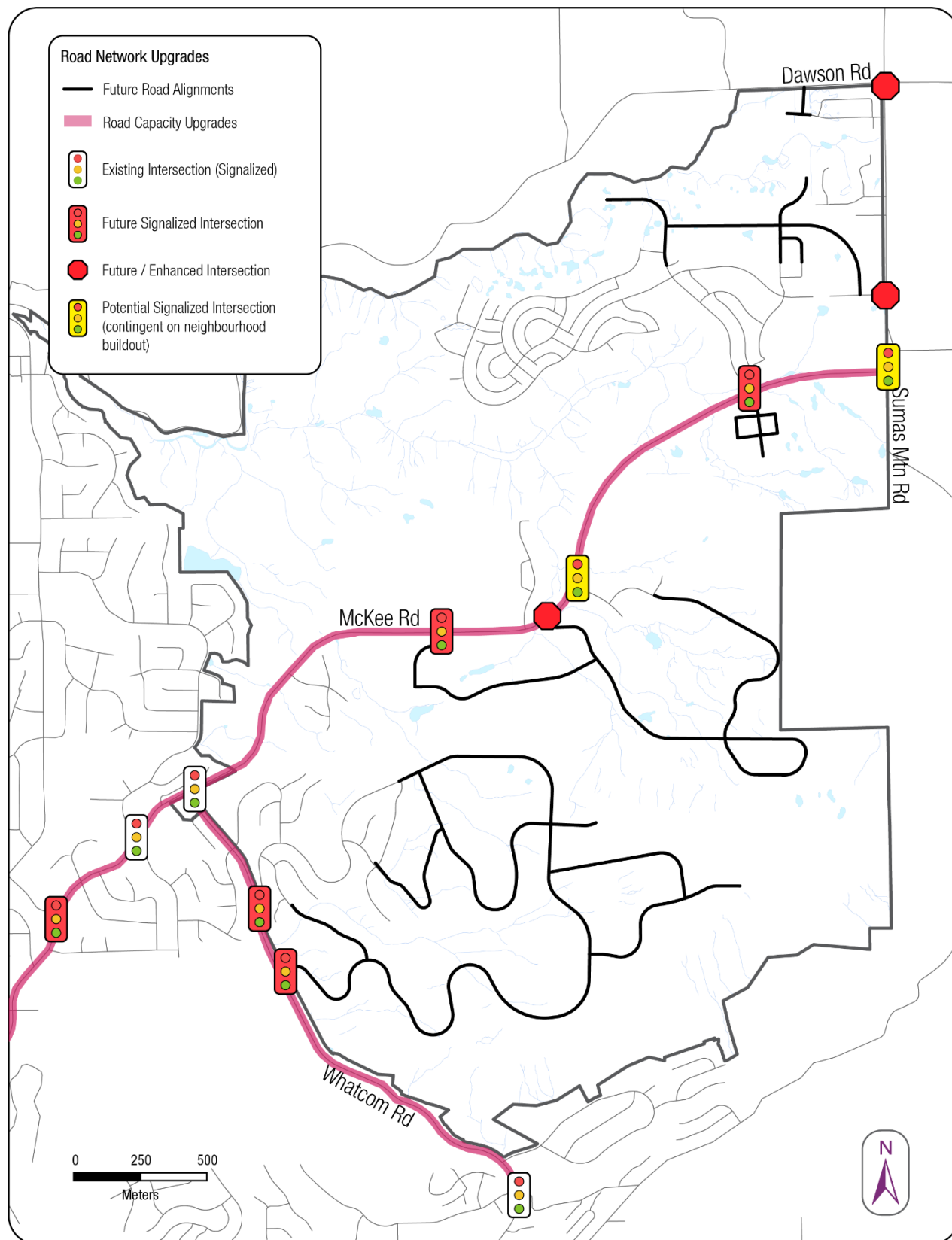






Map 21. Road Network and Classifications





Map 22. Road Network Upgrades



Urban 2 –Ground Oriented developments that are strata based, commercial, and institutional zoning are expected to have their own on-site detention and discharge at a release rate at or below the target rates for the various return periods. Due to numerous constraints, including topography, watercourse crossings and Streamside Protection and Enhancement (SPEA) setbacks, not all proposed development areas within the MNP area are able to drain to the proposed community detention facilities.

The proposed community detention facilities with their corresponding preliminary volumes are shown below:

Community Detention Facility	Total Volume
Pond 1	5150 m <sup>3</sup>
Pond 2	2080 m <sup>3</sup>
Pond 3	8630 m <sup>3</sup>
Tank 4a, 4b	9740 m <sup>3</sup>
Pond 5	6580 m <sup>3</sup>
Pond 6	2950 m <sup>3</sup>
Pond 7	12570 m <sup>3</sup>
Pond 8a, 8b	6120 m <sup>3</sup>
Pond 9a, Tank 9b	7250 m <sup>3</sup>
Tank 10	4510 m <sup>3</sup>
Tank 11	8280 m <sup>3</sup>
Tank 12	2350 m <sup>3</sup>

Table 2. Proposed Community Detention Facilities

The Neighbourhood Plan identifies the proposed catchment areas, and associated community detention facilities as well as the few locations where private onsite detention will be required (see Map 23).

## 5.22 Catchment Based System

Ensure all development contributes to the Community Detention Facility for the associated catchment area. When this is not feasible, private on-site detention may be permitted.

## 5.23 Base Flows

Maintain the base flows of existing watercourses.

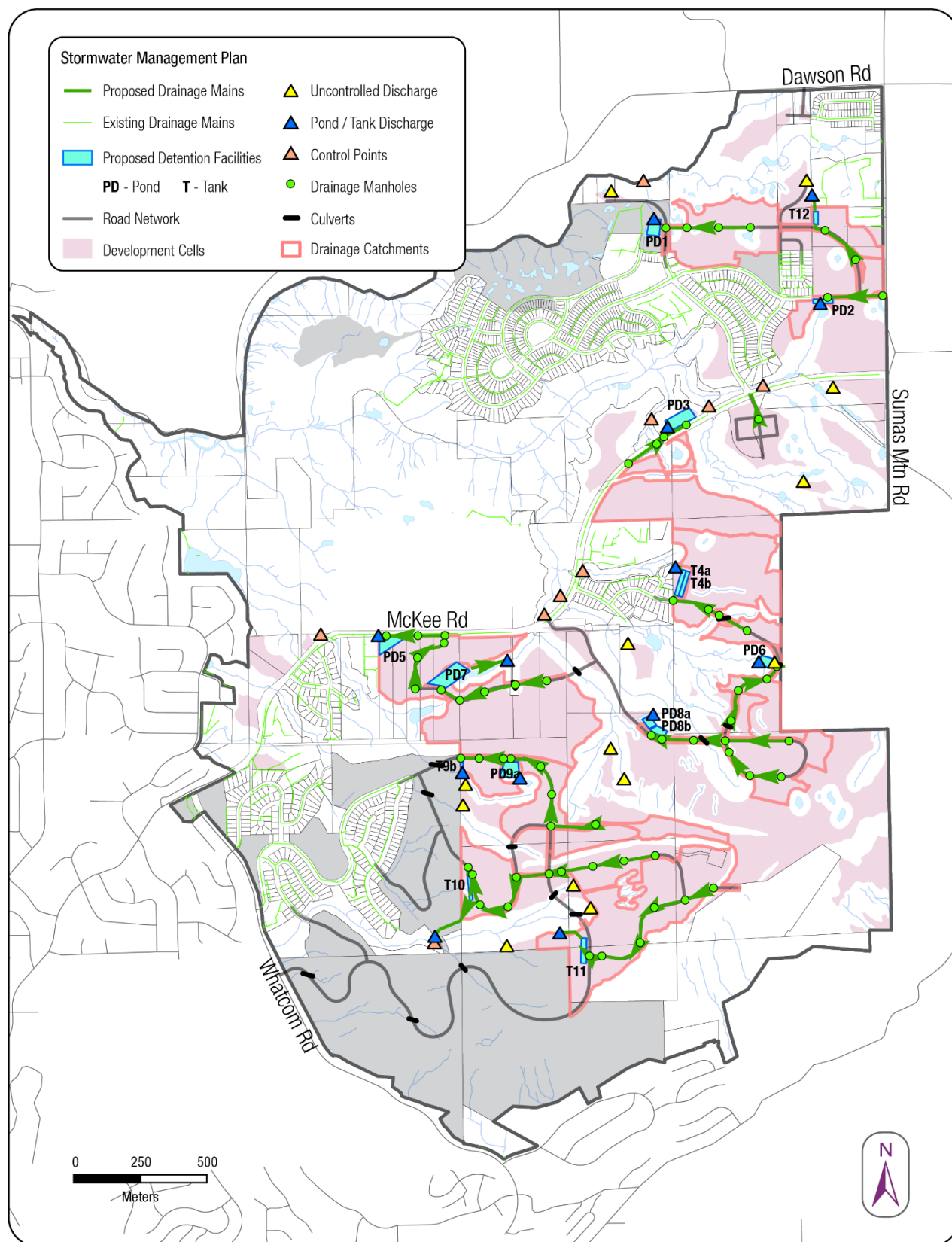
## 5.24 Infrastructure in Roads

Ensure stormwater infrastructure is located under roads, and not located on private property or through environmental areas.

## 5.25 Community Detention Ponds

Constructed community detention ponds must be designed so that they provide storm flow retention, water quality improvement, aesthetic benefits, and ecological value.





Map 23. Stormwater Management Plan



## WASTEWATER SYSTEM

To take advantage of the topography, the neighbourhood will utilize a gravity based system with some force lift stations and forcemains as needed, as per Map 24.

Three tie in points have been identified for McKee Peak, one at the end of Treetop Drive, one at the end of Westview Boulevard and one at the end of Harvest Dr. All piping is anticipated to be via gravity with the exception of one private lift station proposed at the Whatcom Rd tie in. This is a low point where the sewage would need to be pumped via forcemain either up Whatcom Rd or up McKee Peak.

The Ledgeview development area is east of McKee Peak and is accessed opposite to the Ledgeview Golf Course and by extending the Westminster Rd. This area will be serviced by 200 mm diameter gravity main with tie-ins along McKee Road. Three municipal lift stations and one private lift station have been proposed at low points in the system.

Auguston is made up of short segments of sanitary main tying into the existing system and five (5) private lift stations at low points that cannot tie in to the existing gravity mains.

### 5.26 Catchment Based System

Ensure all development contributes to the catchment area.

### 5.27 Use Gravity

Use gravity to collect wastewater where possible. When this is not feasible, pump stations may be permitted.

### 5.28 Infrastructure in Roads

Ensure wastewater infrastructure is located under roads, and not located on private property or through environmentally sensitive areas.

## WATER SYSTEM

To distribute water throughout the neighbourhood there will be water reservoirs, pump stations, and a water main trunk network. The Neighbourhood Plan provides options for the ultimate location of the water reservoir to facilitate phasing for developers.

### Reservoirs

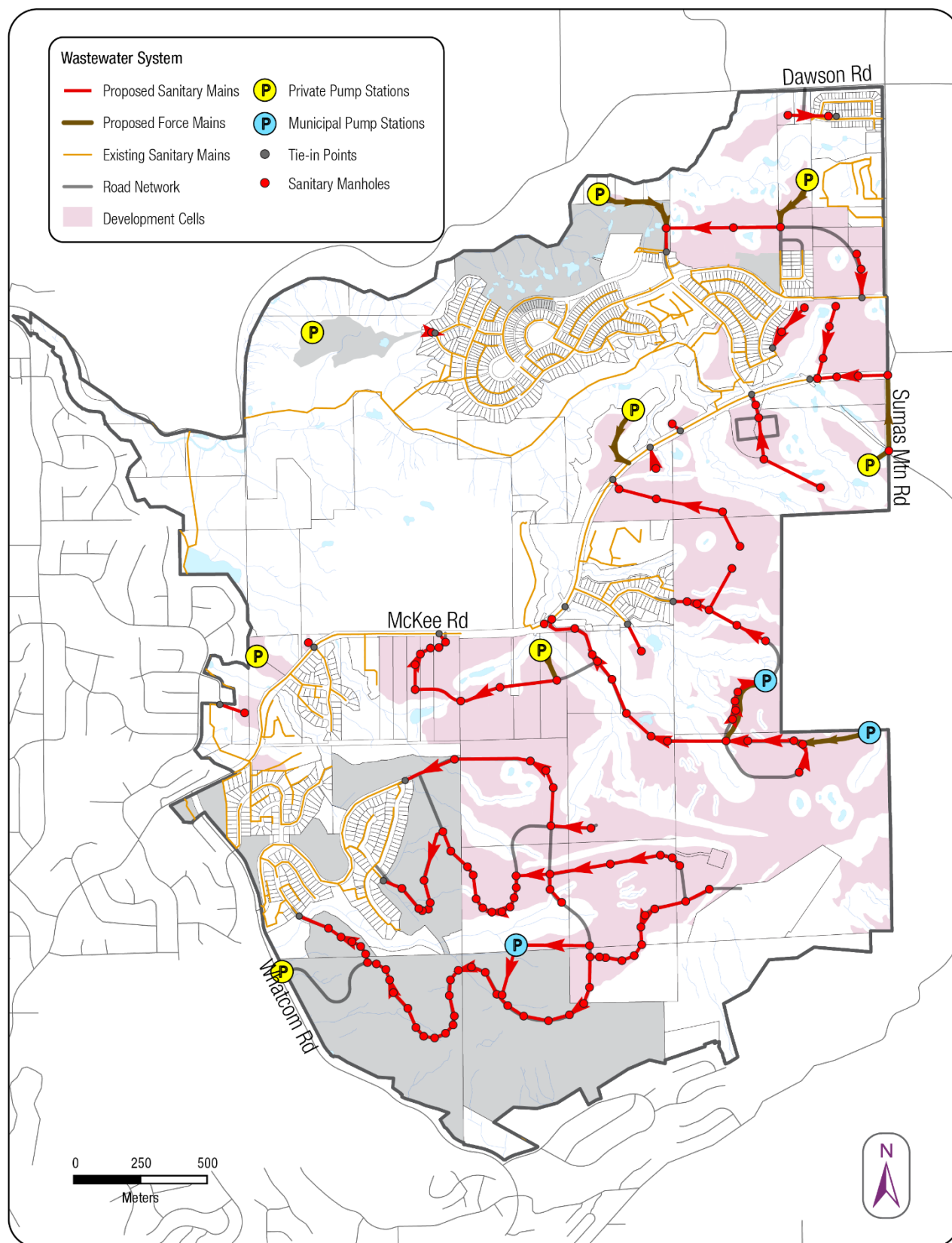
There are three reservoirs and one expansion cell in the ultimate build-out scenario for the McKee Water Servicing Plan, as follows:

- The existing McKee reservoir off McKee Rd with an expansion cell;
- The Phase 1 and Phase 2 McKee Peak reservoirs on McKee Peak; and
- The Ledgeview reservoir in Ledgeview.

A reservoir volume is also provided should McKee Peak be developed in one phase at the phase 2 location. The McKee Peak Phase 1 reservoir services both multi-family and single family, requiring a fire flow of 150 l/s for total duration of 2.5 hours. The McKee Peak Phase 2 reservoir services single family residential and a proposed elementary school, therefore requiring 200 l/s at 2.5 hours for fire flow.







Map 24. Wastewater System



As per the 2018 Water Master Plan, the Existing McKee reservoir is designed with a fire flow of 167 l/s at 2 hours duration with 0.11 ML of excess storage under existing conditions. The proposed reservoir's expansion tank is designed to provide 200 Lps for a total duration of 2.5 hours for fire flow, plus the 2051 MDD for Auguston minus the 0.11 ML surplus and existing fire storage resulting in a total additional storage of 1.24 ML required to meet the needs of the future Auguston area. The completion of the expansion cell will upgrade the system to meet current FUS fire flow requirements.

## Pump Stations

For McKee Peak, three new pump stations are required to service the development, named as McKee Pump 1, McKee Pump 2, and McKee Pump 3, respectively. McKee Pump 1 will be located at the same location as the Westview pump station and will pump water to the proposed reservoir at 349m (for PZ 349). The existing pump stations service Westview (PZ 290) as a closed loop system and will no longer be needed once the McKee Peak system is tied into Westview and serviced by gravity. McKee Pump 1 will require sufficient head to pump the proposed reservoir at 349m and sufficient flow to service the full buildout scenario. There is an existing 350 mm watermain along Westview that will be used for the dedicated service line to the McKee Peak Reservoirs. The McKee Pump 2 will sufficient head to pump from the proposed reservoir at 349m to the second reservoir at 468m and flow to service the full build out scenario. McKee Pump 3 will be a closed system that will pump from the reservoir at 468m to the top of McKee Peak (PZ 492) and will require a fire pump.

Ledgeview, like McKee Peak, will require two new pump stations in series (Ledgeview Pump 1 and Ledgeview Pump 2) to supply water to Ledgeview Reservoir. The existing pump station building and electrical/mechanical infrastructure is available at the Westminster Pump station so that only a new pump installation is required. A 350 mm watermain with pressure class 250 (1723 kPa) is already installed along Westminster Drive that can be used. From the stub out point, a 250 mm watermain is required to supply the Ledgeview Reservoir. The first pump will require sufficient head to reach the second pump while the second pump will require the head to service the closed system at the top of Ledgeview (PZ 431). Note that the required flow must meet PHD for the closed system at PZ 431 and MDD for the gravity system. A fire flow pump will also be required for the closed system and is proposed downstream of the Ledgeview Reservoir. In order to allow for phasing of development along McKee Rd an interim pump station will be required to service upper bench of the properties along McKee Rd. In the ultimate build out scenario these properties will be gravity fed from the Ledgeview Reservoir.

## Distribution System

The distribution main along McKee Rd from the McKee Reservoir is a 400 mm watermain until 310m from the McKee Rd and Blauson Blvd intersection where its reduced to a 300 mm watermain. During fire flow scenarios run in Auguston, minimum pressure of 150 kPa cannot be maintained in Auguston. The twinning upgrade is required prior to the development of multi-family, commercial or institutional developments.

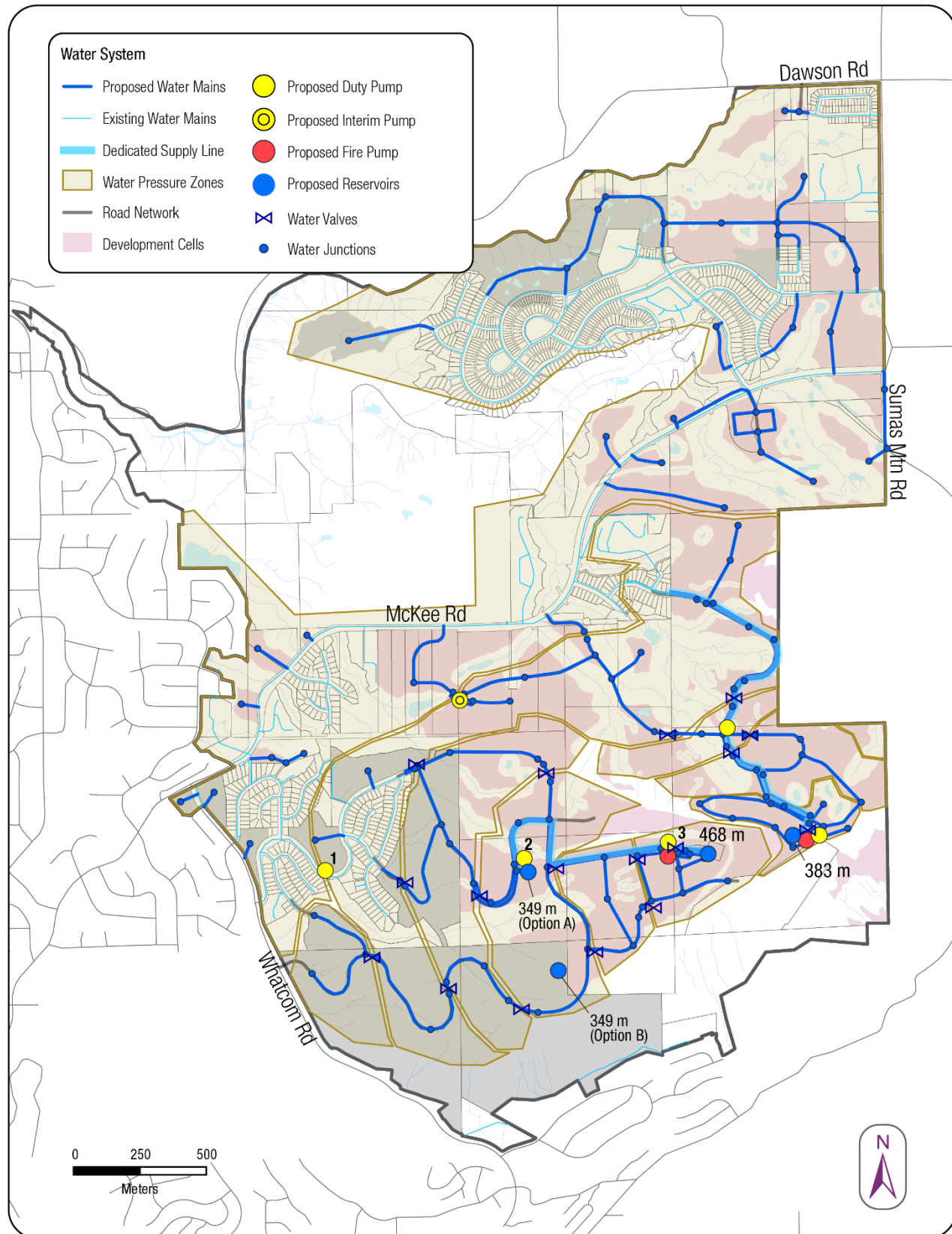
### 5.29 Options for 349 Metre Reservoir and Pump Station

One of the two options identified on Map 25 will be constructed by the developer. This will allow for efficient phasing and servicing for the neighbourhood. However, Option B will require re-routing of the existing 350mm water main to feed the proposed location of the reservoir.

### 5.30 Infrastructure in Roads

Ensure water infrastructure is located under roads, and not located on private property or through environmental areas.





Map 25. Water System





## PART 6 IMPLEMENTATION

FINANCIAL STRATEGY

PHASING PLAN







## FINANCIAL STRATEGY

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The McKee financial strategy is intended to assist in the orderly, predictable, and equitable development of the neighbourhood and is based on the principle that those creating additional demand and burden to the infrastructure pay for it. Generally, development is required to provide and pay for the infrastructure needed to support their development, and the City does not finance, nor provide infrastructure required for development. As such, the Transportation and Utilities sections in Part 5 identifies general infrastructure needed to support the entire McKee Neighbourhood Plan area.

### Developer Responsibility

As individual properties are developed in McKee, the developer is responsible to provide the infrastructure needed to support their individual development proposal. This may include frontage infrastructure works (with potentially enhanced finish and furnishings) as well as applicable offsite infrastructure works. In other words, the developer constructs and pays for the infrastructure needed to support their development proposal.

Applicable latecomer agreements may be an option if “excess” or “extended” infrastructure is required that benefits other developable properties along the upgraded infrastructure. This provides the developer a tool to collect from future benefitting developments. Another option available to developers to assist with recovering a proportion of front ended infrastructure investments is the use of development works agreements.

### Capital Programs

The City may decide to upgrade some of the infrastructure within or around McKee if there is a benefit to the broad community, and not development related. For example, the City may decide to fund a specific transportation project such as building a parking lot on City-owned land. The infrastructure that may be funded through the capital program is unknown at this time.

### Grants

Senior government grant programs are constantly changing and there may be future opportunities for some infrastructure to be funded through these programs. Generally, these programs do not fund growth related projects but are available for more broad and strategic initiatives such as green infrastructure to reduce the community impact on the environment, or affordable housing partnership projects. The City may determine the need for a project in McKee aligns with an available grant program at any time during the life of this plan, and proceed with applying for and implementing that project.

### Development Cost Charges

The City has a Development Cost Charge (DCC) Bylaw to set fees that are collected from developers to offset some of the infrastructure costs incurred as a result of new development. The rates of fees are updated from time to time based on the need for projects to meet the demands of growth across the City.

If any of the infrastructure works identified in the McKee Neighbourhood servicing study are included in a future DCC Bylaw, there may be opportunities for rebates and/or credits to be applied to the specific infrastructure works. The infrastructure that may be included in future DCC Bylaws is unknown at this time.



## PHASING PLAN

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The following general prerequisites must be satisfied prior to adoption or a rezoning bylaw. This list is not deemed to be exhaustive, as other requirements may be added based on site specific conditions and changes to City bylaws, policies and procedures.

### Servicing

#### Water

- Assessed with each application
- Considerations for cash-in-lieu for ultimate build-out
- The developer must provide statutory ROW's over neighbouring lands to construct the water system

#### Stormwater

- The community detention facility located with the catchment must be secured through the first development application in the applicable catchment (see Map 23)
- The storm system will be built to the development's needs, but the system will be designed and sized to accommodate upstream development
- Site specific stormwater facility to accommodate development land outside of the community detention facility catchment boundary
- The developer must provide statutory ROW's over neighbouring lands to construct the drainage system

#### Wastewater

- Sanitary system to be constructed from existing downstream system to the development lands with consideration to lands beyond
- The developer must provide statutory ROW's over neighbouring lands to construct the sewer system
- 

#### Road Network

- All collector roads must be constructed through the development to connect to lands beyond
- The developer must provide statutory ROW's over neighbouring lands to construct the collector road network
- All traffic signals must be secured at the time of development
- Traffic calming methods to be secured at the time of development



## Schools

Elementary, middle and high schools are to be located in the neighbourhood to accommodate future growth. Schools will be distributed across the neighbourhood, on sites that meet the needs of Abbotsford School District 34. Auguston Traditional Elementary School fulfills the elementary school requirement within the Auguston area, and the school district has already secured a middle school site for the neighbourhood, which fronts the future extension of Farina Road (Map 26).

To accommodate future student population growth within the plan area, two more elementary schools and a secondary school are required. To ensure school sites are provided in a fair and equitable manner, elementary school sites will be secured as follows:

- Future elementary school sites must be secured through the first rezoning application in the applicable elementary school phase (see Map 26).
- Elementary school sites should be located adjacent to collector roads. Site size requirements are to be discussed with the school district and the City.

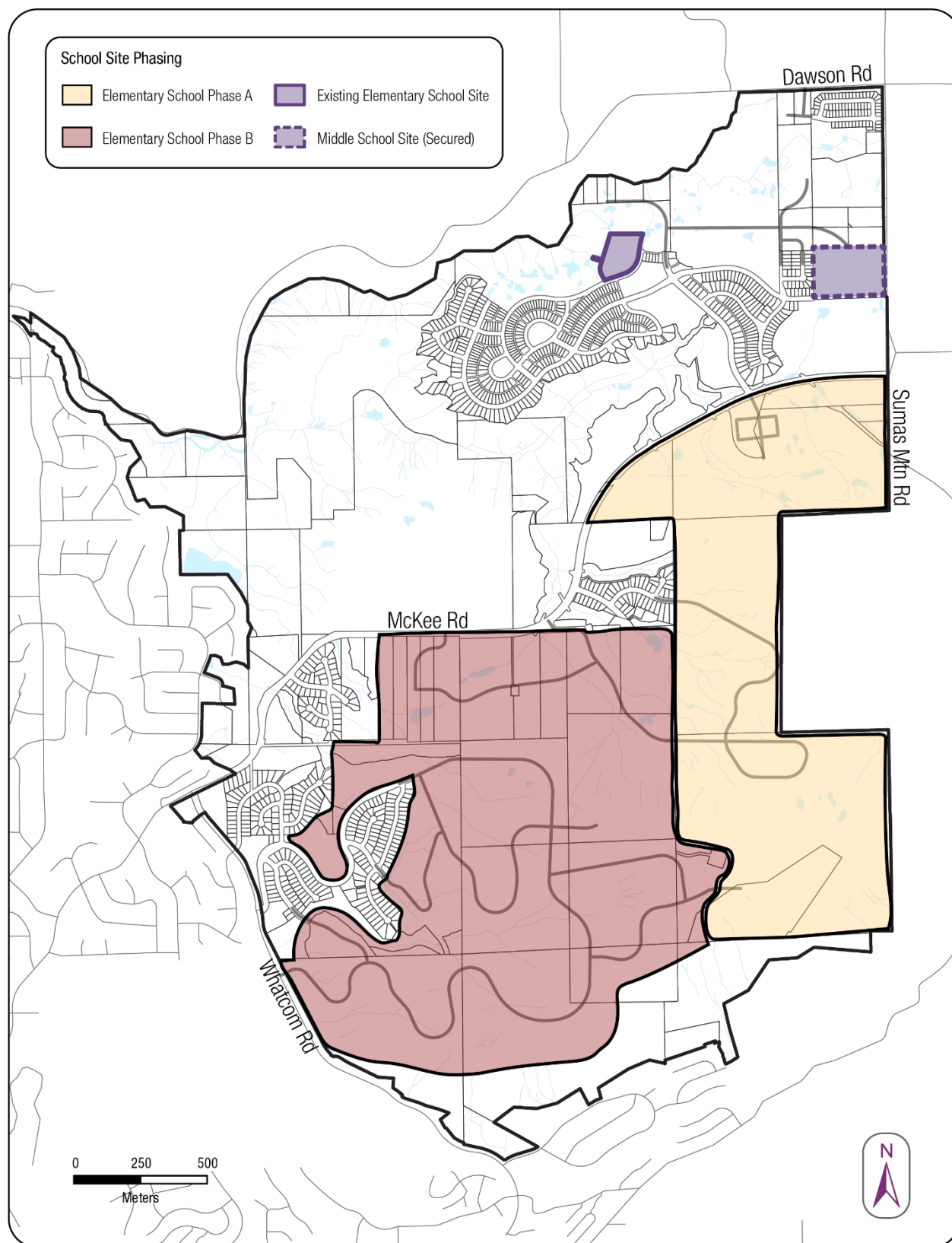
The required secondary school site will be secured when 50% (3,300 principal dwelling units) of the total number of principal dwelling units within the plan area is reached, and this is subject to City Council approval. Currently there are 1,500 principal dwelling units within the plan area, and in order to reach the 50% threshold of 3,300 units, another 1,800 units will be required to be approved. The secondary school site should be located adjacent to collector or arterial roads, and site size requirements are to be discussed with the school district.

**Note:** the 50% principal dwelling units is derived from the lower projected units bound of 6,600, found in Figure 5. Population Projections.



Figure 35. Concept Rendering - Schools





Map 26. School Site Phasing





## **McKEE NEIGHBOURHOOD PLAN**



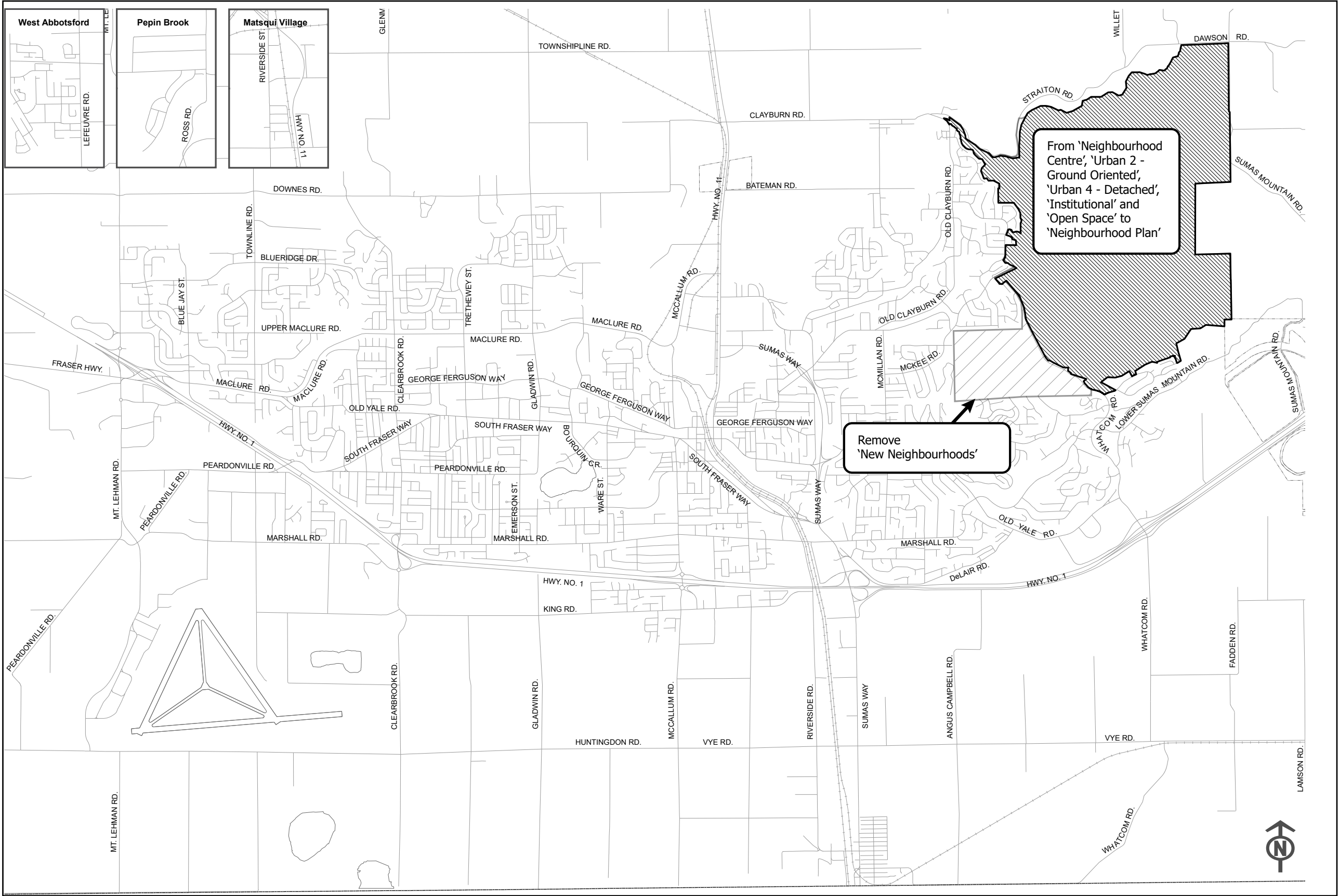
APPENDIX 'C'  
Map 1 - Urban Land Use

City of Abbotsford  
Official Community Plan Bylaw,  
2016, Amendment Bylaw No.  
OCP-017  
Bylaw No. 3275-2022

Legend

Neighbourhood Plan

New Neighbourhoods

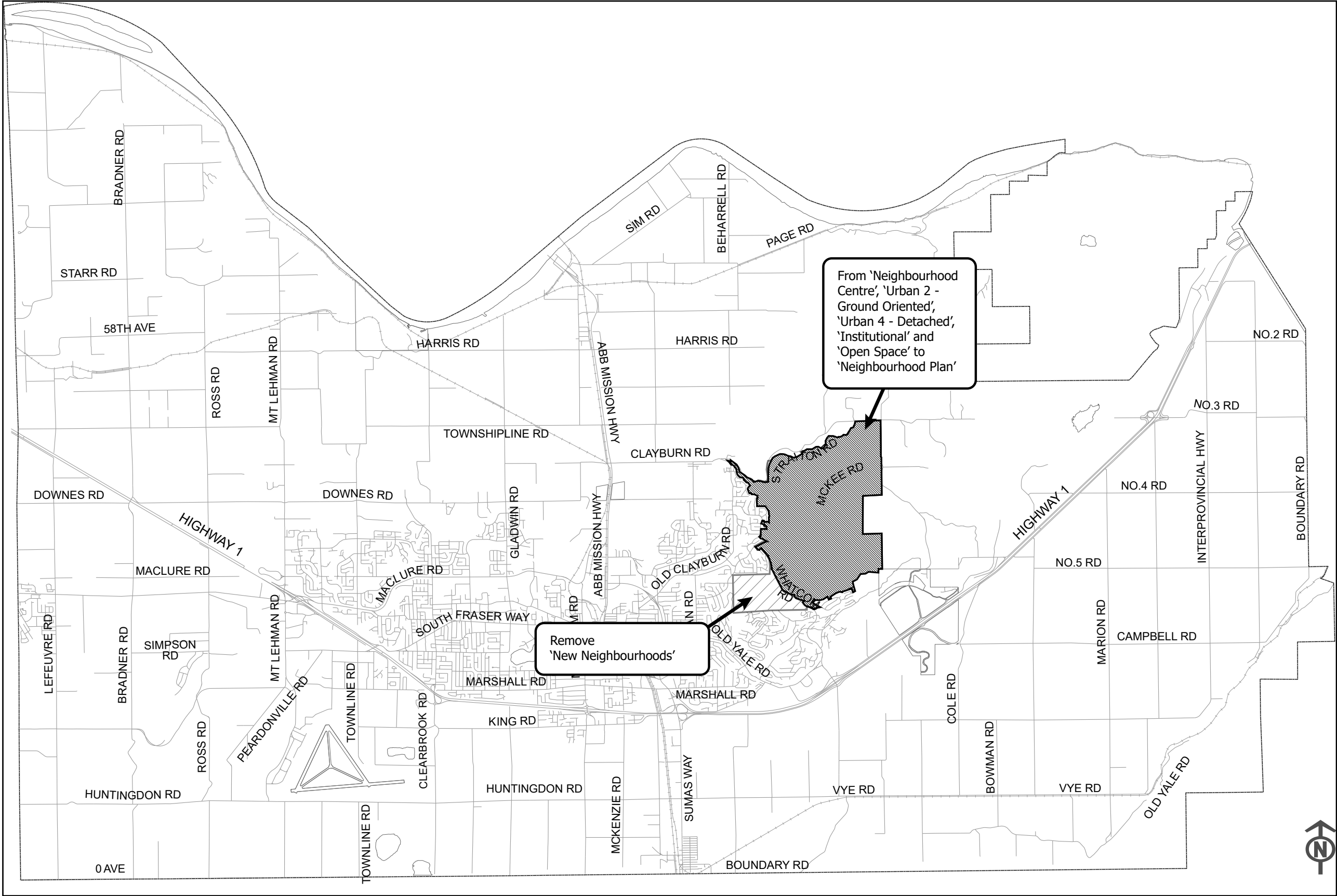


APPENDIX 'D'  
Map 2 - Rural Land Use

City of Abbotsford  
Official Community Plan Bylaw,  
2016, Amendment Bylaw No.  
OCP-017  
Bylaw No. 3275-2022

Legend

Neighbourhood Plan

New Neighbourhoods

APPENDIX 'E'

Map 3 - Neighbourhood Plans

City of Abbotsford  
Official Community Plan Bylaw,  
2016, Amendment Bylaw No.  
OCP-017  
Bylaw No. 3275-2022

Legend

McKee Plan Boundary



## Survey Responses

Tell Us What You Think about the Draft  
Plan!

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# Let's Talk Abbotsford

Project: McKee Neighbourhood Plan





**Respondent No:** 1

**Login:** Registered

**Responded At:** May 13, 2022 18:51:13 pm

**Last Seen:** May 14, 2022 00:50:28 am

Q1. Are you a resident of the Plan Area?

Yes

Q2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

Pick your preferred option

Yes, completely!

Q3. If you would like to, please provide any detailed comments below:

No





**Respondent No:** 2

**Login:** Registered

**Responded At:** May 13, 2022 19:11:32 pm

**Last Seen:** May 14, 2022 00:55:17 am

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

There are a lot of things I like about the vision for this development. Complete streets, First Nations place names, communal areas... An emphasis on preservation of natural spaces. But as someone who avidly hikes and uses this natural area, I'm heartbroken to see the extent to which this plan intends to develop this beautiful, natural, peaceful, well-loved, CRUCIAL land. I have some suggestions. 1.) Don't develop so far towards the center of this mountain. Build slightly denser towards the edges where development already exists. There is deep, deep value to having natural spaces on this mountain that aren't so close to development. 2.) Don't add "parks" to a natural mountain. It is not good to cut down trees and remove wild spaces to put in grass and make a "green space." These types of parks are good to add in a dense city, reclaiming old parking lots, etc. But it is wrong to make a park out of this natural space. 3.) Don't build schools up the mountain. It is much better to build an efficient transit system to bring these kids to schools in already developed areas. Yes, Abbotsford needs new schools, but they require a lot of space, and would be much better suited to locations in Abbotsford that are not densely treed and natural. Abbotsford residents in the future will thank us for preserving these undeveloped areas where you can actually "get away from it all" without having to drive an hour away to get there. Humans need that. There will come a limit when Abbotsford can expand into undeveloped areas no longer, because they'll all be gone. That limit will reach us faster than we can guess. So stop before we get there and keep Abbotsford beautiful, with REAL hiking spaces still free and available. Where wildlife can live, for real. Don't dig it up to build water and waste water plumbing and paved "pathways" and giant soccer fields where natural ponds and waterfalls and rainforest used to be.



**Respondent No:** 3

**Login:** Registered

**Responded At:** May 13, 2022 21:25:37 pm

**Last Seen:** May 14, 2022 03:24:20 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Yes, completely!

Q3. **If you would like to, please provide any detailed comments below:**

The plans for the village centre, trails, and parks are especially exciting. I hope it's a place that I can afford to live in, because it looks like the sort of place that I would like to be.



**Respondent No:** 4

**Login:** Registered

**Responded At:** May 13, 2022 21:44:31 pm

**Last Seen:** May 29, 2022 16:15:06 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Preserve the running trails, no need to destroy this mountain



**Respondent No:** 5

**Login:** Registered

**Responded At:** May 14, 2022 02:48:33 am

**Last Seen:** May 14, 2022 08:47:23 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 6

**Login:** Registered

**Responded At:** May 14, 2022 07:53:47 am

**Last Seen:** May 14, 2022 13:48:49 pm

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

My concern would be the increase traffic and flooding in the Clayburn Village area because of all the building. Some of the historical buildings in one of Abbotsford's most historical areas will be damaged further because of the increased traffic and vibration. If there was a way to reroute traffic from Stratton around Clayburn Village that would help. The other concern is that due to the amount of vegetation being removed because of building there would be increased water flow causing more flooding. Without the vegetation the retention of water declines rapidly.





**Respondent No:** 7

**Login:** Registered

**Responded At:** May 14, 2022 09:30:57 am

**Last Seen:** May 14, 2022 15:22:11 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Need more green space! 5% for parks and green space is atrocious. It would basically be clear cut up here like Clayton Heights(Surrey). Awful. Trails need to be in trees like trails in Port Moody around inlet.... Understand that we need more houses to accommodate growing population, but don't destroy everything in the process. Why not build 4 storey houses instead of 3 to save more green space?



**Respondent No:** 8

**Login:** Registered

**Responded At:** May 14, 2022 10:06:23 am

**Last Seen:** May 14, 2022 15:58:27 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The amount of wildlife, diverse plants and old trees that dwell on the mountain should also be surveyed. Bears, deer, bobcat, porcupine, rabbits, squirrels, raven, bald eagles, paragon falcons, robins. Oregon grapes, sweet after death, stinging nettles, horsetail, ladyfern, sword fern, licorice fern, bracken fern. Old growth cedar, maple, fir, pine and hemlock. All residents of Sumas mountain. The amount of people that use the mountain recreationally should also be surveyed. People come from all over to enjoy our mt. That brings revenue into the city as well. Developments on the mt are not something I'll ever support. Develop the downtown core, densifying the core. Take down the crack houses and develop there. Leave the mt alone.



**Respondent No:** 9

**Login:** Registered

**Responded At:** May 14, 2022 10:53:47 am

**Last Seen:** May 14, 2022 16:44:06 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The loss of so many the McKee Peak trails and green space will be a massive blow to the community. This area is a place where so many people go to recreate and maintain mental health within the City of Abbotsford. Based on the current maps it appears the area will essentially become another piece of urban sprawl with insanely congested roads.



**Respondent No:** 10

**Login:** Registered

**Responded At:** May 14, 2022 11:22:57 am

**Last Seen:** May 14, 2022 16:38:53 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 11

**Login:** Registered

**Responded At:** May 14, 2022 12:29:20 pm

**Last Seen:** May 14, 2022 18:18:52 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Yes, completely!

Q3. **If you would like to, please provide any detailed comments below:**

I'm quite impressed by the vision statement and it's focus to integrate residential growth with the existing landscape.





**Respondent No:** 12

**Login:** Registered

**Responded At:** May 14, 2022 14:34:44 pm

**Last Seen:** May 14, 2022 20:06:44 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I support the vision of the McKee village. I think that is an excellent opportunity for small business and tourism in the area if done right. I believe you are grossly underestimating the amount of tourism Abbotsford receives from the mountain biking on Ledgeview. Though it is deemed "informal" people from all across the lower mainland and GVA travel to Ledgeview for mountain biking. As opposed to Sumas mountain which is more of an expert level mountain; on Ledgeview there are trails for everyone. I think during COVID Ledgeview became a place of solace for many of the residents here. It's popularity has grown exponentially. It also has excellent family friendly hiking trails, which hundreds of ppl take advantage of on a daily basis. Reading over the plans, I do see you are trying to make use of green space, but not in the way of actual legitimate hiking trails. Hiking is an activity that is free for all members of the city of Abbotsford and is a way people can connect with nature. We do not need more parks. We do not need more single detached homes on a mountain where only people with millions of dollars can actually afford to buy. If this becomes another Eagle mountain, the plan has failed. We need to preserve the essence of Abbotsford; let's keep what makes this place special. Ledgeview mountain is what makes Abbotsford great. It is a huge asset to the city. If you need to build, build around it. Try and enhance Ledgeview with the McKee village or a few subdivisions, but don't build in the middle of it, please don't put a school smack dab in the middle of it. All in all, build homes elsewhere, you will ruin our city in the country otherwise.



**Respondent No:** 13

**Login:** Registered

**Responded At:** May 14, 2022 17:22:35 pm

**Last Seen:** May 14, 2022 23:17:45 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I would have preferred the BC government or City to buy the land and save it as it is...green space...for the enjoyment of all the citizens.



**Respondent No:** 14

**Login:** Registered

**Responded At:** May 14, 2022 17:39:54 pm

**Last Seen:** May 14, 2022 23:39:22 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Yes, completely!

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 15

**Login:** Registered

**Responded At:** May 14, 2022 20:52:47 pm

**Last Seen:** May 15, 2022 02:02:11 am

Q1. Are you a resident of the Plan Area?

No

Q2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

Pick your preferred option

Somewhat

Q3. If you would like to, please provide any detailed comments below:

1) More community nodes (e.g., cafe, general store, B&B, professional offices) are needed outside the main community centre with planned density. 2) I noted the walk and cycling connections remark in the document; however, I also noted many cul-de-sacs in the drawings. These dead-end streets need to have through paths for pedestrians and cyclists, to make neighbourhoods more connected and for more direct access to neighbourhood nodes and the main community centre. For example, it should never take more than 15 minutes to walk to essential services anywhere in this development (e.g., doctors' office, grocery, pharmacy, daycare). 3) With limited transit, I'd like to see areas with proposed density and the community centre have spaces for future neighbourhood car-share (e.g., Modo). 4) If this is a visitor destination, I'd like to see commercial vehicle parking for non-scheduled buses (e.g., school groups, tours, event delegates/participants). 5) I'd like to see some land available for non-market co-op housing in the community centre. 6) If we want to encourage people to live and work in this community, space should be identified in the community centre for a shared workspace co-op. 7) Community gardens in the density areas, including the community centre. 8) Beyond short-term bike racks, secure bike lockers for employees and persons staying in the community centre for extended periods. 9) Daycare within 50 metres of the transit stops. 10) Community parcel lockers are available to all courier companies to mitigate transportation friction caused by missed deliveries. 11) Reduce the need for sound noise caused by generators with appropriate utility hook-ups for pop-up events in public spaces (e.g., markets, food truck festivals, street performances). 12) Roof slopes should face true south to maximize solar electricity generation. 13) Signage in this neighbourhood should be people-oriented, not car driver-oriented. 14) A 500-person conference centre for the community centre with tourist commercial zoning for one or more boutique hotels or vacation rental style condos similar to Whistler and Rossland. There should be one or more B&Bs or small Inns in the area. 15) Community hall (e.g., family reunions and weddings). 16) I would like the draft plan reviewed by The Dutch Cycling Embassy, a service established by The Netherlands to export its expertise in Vision Zero and people-oriented spaces based on real-world evidence.



**Respondent No:** 16

**Login:** Registered

**Responded At:** May 14, 2022 21:25:10 pm

**Last Seen:** May 15, 2022 02:51:58 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 17

**Login:** Registered

**Responded At:** May 15, 2022 10:43:18 am

**Last Seen:** May 15, 2022 16:31:07 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

Outdoor activity is so important to a healthy lifestyle. The wildness and beauty of the McKee trails is a gem in the city; mountain-biking and hiking draw people to the area and allow for a healthy environment for all to enjoy. Very important to retain biking, hiking and access to natural trails in developing this area. The interaction with wildlife is also critical to consider. Lots of deer, bear and big cats live in this area - how to incorporate and preserve their natural habitat will be critical for a safe and balanced development. The Sto:lo people have deep ties to this area: ensuring respect, acknowledgement and preservation of the history of the Sto:lo people and their cultural history on this land is also critically important. Having commercial and neighbourhood amenities close to where people live is a good goal; reducing driving, creating walkable neighbourhoods and convenient amenities will be a plus. Thanks for the opportunity to comment.





**Respondent No:** 18

**Login:** Registered

**Responded At:** May 15, 2022 12:49:34 pm

**Last Seen:** May 15, 2022 18:25:58 pm

**Q1. Are you a resident of the Plan Area?**

Yes

**Q2. Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

**Q3. If you would like to, please provide any detailed comments below:**

I am in favour of the proposal of McKee village. I think this area of town could benefit from an additional business centre that promotes the beauty and sustainability of the McKee peak recreational area. The hiking and biking area is a treasure we need to protect, and could serve as a tourism hub for our city if managed properly. I am proud to have chosen Abbotsford as my home because of these opportunities. However, I am not in favour of the degree of residential development this plan has proposed. These new neighbourhoods are planned on top of some of the best hiking and biking areas that McKee peak can offer - especially the entry level / low grade trails that keep children and new outdoor enthusiasts returning to the area. By developing the area with expensive single-family homes and new schools, we will be essentially creating Eagle Mountain 2.0 - which has done little to serve the needs of anyone in Abbotsford except those with enough money to purchase there. This feels like a once-in-a-lifetime opportunity for Abbotsford to create an outdoor and social hub that could draw visitors from Chilliwack to Surrey. Please do not underestimate the power of an untamed recreation area within city limits. There are so few places like this for people to enjoy. Let's maximize what we have, instead of turning quick profit on what we could build.



**Respondent No:** 19

**Login:** Registered

**Responded At:** May 15, 2022 14:32:18 pm

**Last Seen:** May 15, 2022 20:25:13 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

The draft plan sounds great - the emphasis on maintaining green space, trails and creating more parks is crucial. The McKee mountain area is one of the only accessible trail areas for hiking/biking. If this is lost, most of our outdoor recreation (save for Sumas Mtn), will be lost. This will be a huge deterrent for tourism, and many people (ourselves included), may even move out of Abbotsford in favour of Chilliwack for more trail access. The trails need to be long and treed, not superficial and short connecting neighbourhoods only. The McKee village plan sounds great and I am hopeful this will bring some exciting culture and highlight that area of Abbotsford. The only glaring thing that is missing from this plan, is a new Rec Centre. With a population of 150k +, 2 rec centres is simply not enough. Langley has the same population and has 7, North Van 10+. The population is growing, and the cost of living soaring, Rec Centre programs are essential for young families and seniors. The cost is astronomical to build a new facility, but it must be included in this plan now, or it will never happen. Thank you!



**Respondent No:** 20

**Login:** Registered

**Responded At:** May 15, 2022 14:48:40 pm

**Last Seen:** Jun 02, 2022 17:21:06 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

There are still so many unanswered questions e.g. is there going to be access/egress from Whatcom; will street parking be taken away from Harvest Drive; Westview Blvd., Treetop etc.; Will parking be provided for hikers/trail bikers etc.; What are the anticipated traffic counts for the residential streets Harvest Dr. and Treetop; How will the future Boffo development on Westview Blvd. and Whatcom affect traffic flow on the intersections of Harvest Dr. and Westview Blvd from which access/egress is planned.? What is the anticipated traffic flows using the Harvest Dr. and Treetop roads as access and egress to the development? How many existing homes have registered to participate in the surveys and/or provide input into the planned development? Do you consider this to be a fair representation of the existing public opinion in regard to the planned development? Council should be made aware many are opposed to some degree of the planned impact this development could have on their community which could affect future voting should a strong opposition be organized.



**Respondent No:** 21

**Login:** Registered

**Responded At:** May 15, 2022 15:16:20 pm

**Last Seen:** May 15, 2022 21:14:18 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

I think its great you are planning for a fire hall and additional schools as these services are already stretched thin within Abbotsford. I feel there needs to be a plan for recreation centres - only 2 for 150k is very light compared with neighbouring cities. If we are planning to add this many houses/people we need another rec centre or at least another pool - ideally olympic sized with early and late opening times.



**Respondent No:** 22

**Login:** Registered

**Responded At:** May 15, 2022 15:48:16 pm

**Last Seen:** May 15, 2022 21:40:58 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

The trails on Mckee/Mckee peak are so important to me, my family/friends and everyone I meet in the neighbourhood. Yes, the area is in need of improvements in areas of parking, accessibility and such but the plan in the pictures breaks my heart because it would see so many beloved trails destroyed. I love the mountain because the trails are close, and there are so many different trails I can hike a different one every time I go, and this would not be the case in your plan. The trails would be very busy, bikes and hikers would be together and it would be unsafe, and all the hard work the bikers have put into making their jumps/obstacles would be completely thrown away. This mountain is precious to everyone who lives there, especially me, and I would hate to have to watch my favorite trails be destroyed. There is no other trails even close to mckee that are remotely as beautiful, well maintained and loved like the Mckee peak trails. I plead for you to leave more of the mountain space untouched. Making road up to the peak would disturb the environment so much and make the trails and peak way too busy for locals to enjoy. I hope I'm not around if this destruction happens. I see the vision for the village centres, the parking, and widening of roads, even some of the neighbourhood developments I can accept, but just please leave the top of the mountain alone, and make any development plans with those of us who live and breathe on these trails.



**Respondent No:** 23

**Login:** Registered

**Responded At:** May 15, 2022 17:24:37 pm

**Last Seen:** May 15, 2022 23:15:14 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

I have a concern that there will be even more traffic funneling into the area through Whatcom Rd. Exit which is already a traffic nightmare in busy times.





**Respondent No:** 24

**Login:** Registered

**Responded At:** May 15, 2022 20:51:42 pm

**Last Seen:** May 16, 2022 02:49:15 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 25

**Login:** Registered

**Responded At:** May 15, 2022 21:01:06 pm

**Last Seen:** May 16, 2022 02:59:52 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Yes, completely!

Q3. **If you would like to, please provide any detailed comments below:**

Draft plan looks really great!



**Respondent No:** 26

**Login:** Registered

**Responded At:** May 15, 2022 22:25:08 pm

**Last Seen:** May 16, 2022 03:54:32 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

There needs to be more planning for the increased traffic on Whatcom Road itself and the Whatcom/Hwy 1 interchange. The Whatcom/Hwy 1 interchange is severely over-utilized with the current population and the east bound off ramp often backs up onto the highway at peak times. There is also a mix of farm traffic on the feeder routes to the south that need to be accounted for in the planning.



**Respondent No:** 27

**Login:** Registered

**Responded At:** May 15, 2022 22:45:49 pm

**Last Seen:** May 16, 2022 04:44:01 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

You are decimating the hillsides around Abbotsford. You are ruining pristine wilderness, and leaving behind eyesore neighbourhoods that are crowded and ugly. The infrastructure cannot support this level of development. The Whatcom exit is already over-taxed with traffic. This will make things exponentially worse.



**Respondent No:** 28

**Login:** Registered

**Responded At:** May 15, 2022 23:13:26 pm

**Last Seen:** May 30, 2022 15:34:38 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Recently there have been media stories about other local communities that are investing in park space for mountain bike trail development. Langford, Chilliwack and Cumberland seem to be leading the way. Chilliwack at Chilliwack Community Forest, Vedder Rotary trail and Little Mountain. There are currently over 100 mountain bike trails on McKee Peak. This is the most popular mountain biking and hiking venue in the Fraser Valley. Page 11 of the current draft plan for McKee Neighborhood Plans refers to them as a number of informal trails. Will Abbotsford continue to be a leader or will we lag behind these other cities who are investing in recreation?



**Respondent No:** 29

**Login:** Registered

**Responded At:** May 16, 2022 17:21:04 pm

**Last Seen:** May 16, 2022 23:20:37 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

not answered





**Respondent No:** 30

**Login:** Registered

**Responded At:** May 16, 2022 21:59:55 pm

**Last Seen:** May 17, 2022 03:57:50 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I moved here to get away from the congestion. I wanted to move to a quiet place to watch my kids be able to run and play. That won't happen when we add 15000 ppl to the area. It will be too crowded. No thanks!



**Respondent No:** 31

**Login:** Registered

**Responded At:** May 16, 2022 22:03:30 pm

**Last Seen:** May 17, 2022 03:59:50 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

The McKee Peak area is one of the most popular recreational destinations for all types of outdoor recreation. The amount of people using those trails for biking, walking, running and most of all family recreation is absolutely amazing. There needs to be a way to safe as many trails as possible and even look into making it more of a destination. Abbotsford lacks areas for kids and beginners to learn the skills of Mountain biking so adding beginner level trails and a skills park to the area would be amazing.



**Respondent No:** 32

**Login:** Registered

**Responded At:** May 17, 2022 09:06:06 am

**Last Seen:** May 17, 2022 15:03:34 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

We need another rec center, all these added people with no where to play baseball, softball, soccer, swimming, ice skating etc. these communities need activities to do together.



**Respondent No:** 33

**Login:** Registered

**Responded At:** May 17, 2022 10:46:37 am

**Last Seen:** May 17, 2022 16:44:02 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Sounds like we'd be losing the majority of the singletrack created and maintained for mountain biking. Increasing population and infrastructure in a forest setting will negatively impact the experiences of the outdoor enthusiast as well as being detrimental to the environment.



**Respondent No:** 34

**Login:** Registered

**Responded At:** May 17, 2022 11:02:24 am

**Last Seen:** May 17, 2022 16:24:16 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

What consideration has been given to areas zoned for places of worship?



**Respondent No:** 35

**Login:** Registered

**Responded At:** May 17, 2022 11:26:39 am

**Last Seen:** May 17, 2022 17:22:58 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Q3. **If you would like to, please provide any detailed comments below:**

The trails at Ledgeview are world-class, singletrack trails are a hidden gem and attraction that Abbotsford can preserve. Please clear land with care and conserve more than the minimum required. Consider keeping natural park areas vs. manicured parks. Please replace lost trail infrastructure by designating new trail areas, as seen in other municipalities like Cumberland and Chilliwack. You should partner with local trail user groups such as Abby Trail Running Club and Fraser Valley Mountain Bike Association to ensure trail users are part of the development.





**Respondent No:** 36

**Login:** Registered

**Responded At:** May 17, 2022 12:18:17 pm

**Last Seen:** May 14, 2022 00:35:00 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

I have a bit of a concern about how much the area will be built up and how much of the forested area will come down with it.  
I also wonder if the city has considered how building up this area will increase traffic flow and expanding the roads.



**Respondent No:** 37

**Login:** Registered

**Responded At:** May 17, 2022 12:59:28 pm

**Last Seen:** May 17, 2022 18:58:23 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

This area is full of forests and ecologically sensitive species, there is no way that development can occur that is not going to hugely disrupt the existing ecosystem



**Respondent No:** 38

**Login:** Registered

**Responded At:** May 17, 2022 14:59:52 pm

**Last Seen:** May 17, 2022 20:54:35 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I understand its important to have residential development in the area and how it will positively affect the economy. However McKee Peak/Ledgeview serves as a great place for people to get outdoors and be active. This draft takes away one of the best places for people to hike and Mountain bike. McKee is home to many many many mountain bikers and hikers and this development plan would be taking away all of that for the active people.



**Respondent No:** 39

**Login:** Registered

**Responded At:** May 17, 2022 16:24:58 pm

**Last Seen:** May 17, 2022 22:27:45 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I think it's great to expand our city, however if the new neighborhood interferes with the ledgeview biking trails, I believe our city would loose a valuable recreation site. People come there to bike as friends, train for competitions and enjoy our environment. As long as the neighborhood doesn't cut any of the runs, I am on board.



**Respondent No:** 40

**Login:** Registered

**Responded At:** May 17, 2022 18:01:34 pm

**Last Seen:** May 17, 2022 23:57:17 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

This area described as 'largely undeveloped' has between McKee Road, up to and along the top of the bluffs the most magnificent wildflower area in the Lower Mainland. The top of the Bluffs is one of the few places that Chocolate Lilies grow. These areas should be a contiguous park. The bluffs themselves are an amazing feature of wind and rain carved rock.



**Respondent No:** 41

**Login:** Registered

**Responded At:** May 17, 2022 18:03:24 pm

**Last Seen:** May 18, 2022 00:02:47 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Yes, completely!

Q3. **If you would like to, please provide any detailed comments below:**

We are excited awaiting offices in the village





**Respondent No:** 42

**Login:** Registered

**Responded At:** May 17, 2022 21:59:08 pm

**Last Seen:** May 18, 2022 03:42:04 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

5 items 1. Rec center - Might have missed it but is there going to be any recreation facility? Would be really nice to have a pool facility up here. 2. Drive thrus - Consider allowing underground drive thrus if most of the parking is in underground parkades. Whistler has one for McDonald's. Works great. Allows for residents to grab a quick coffee from this local center when hitting the road for the morning commute. 3. Market square - Could you include room for a market square? Great for farm markets, Christmas markets, festivals, concerts, etc. maybe even a temporary outdoor skating rink in the winter for families and leisure. 4. Hotels - Will there be room for hotels? Good draw for tourism as - no offense to our current hotel locations - but few are in appealing locations. 5. Hostel - would be neat to have one, especially if it's supposed to be a tech district. Lots of young people can visit, check it out, see the employers and want to relocate. Hope some of that's helpful. Great start to the plan . Kind regards, Hudson Bronson Bronson Design LTD.



**Respondent No:** 43

**Login:** Registered

**Responded At:** May 18, 2022 10:19:39 am

**Last Seen:** May 18, 2022 16:15:39 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The trails and natural landscapes on McKee peak have been a source of recreation for me for years of living in Abbotsford where I can escape the noise and just be in the quiet. But more than fitness endeavors, the trails were vital to my mental health during the COVID pandemic and have continued to provide a safe space for me to recharge and recoup. And I know this has been the case for many many people in Abbotsford. Developing homes on this mountain will benefit some— but the trails have benefited and brought life to many. It's time that the City considers the overall wellness of its residents and that means halting the expansion of this development.



**Respondent No:** 44

**Login:** Registered

**Responded At:** May 18, 2022 11:06:18 am

**Last Seen:** May 18, 2022 17:04:34 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I think the zoning should be less restrictive. Allow for higher density housing and more more mixed use.



**Respondent No:** 45

**Login:** Registered

**Responded At:** May 18, 2022 12:49:30 pm

**Last Seen:** May 18, 2022 18:47:44 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

i would like to see green spaces and trails preserved in ledge view area and also down off straighton. huge community resource for biking and hiking.



**Respondent No:** 46

**Login:** Registered

**Responded At:** May 18, 2022 12:56:02 pm

**Last Seen:** May 18, 2022 18:50:31 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

My street will become a thru street, not what I bought here for! We have enough problems with parking on the street now, this will only make it worse. Trying to build a city on the beautiful park that is now there, this will only make our property values drop! Not in favour of this idea!



**Respondent No:** 47

**Login:** Registered

**Responded At:** May 18, 2022 13:44:04 pm

**Last Seen:** May 18, 2022 19:20:49 pm

Q1. **Are you a resident of the Plan Area?** Yes

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Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

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Q3. **If you would like to, please provide any detailed comments below:**

I love living near the Ledgeview trail. My husband and I often hike up the mountain. We love the natural rustic charm of this area and don't want to see all this development happen here.

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**Respondent No:** 48

**Login:** Registered

**Responded At:** May 18, 2022 14:05:20 pm

**Last Seen:** May 18, 2022 20:01:32 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I am concerned that the network of mountain bike trails are not represented on the draft map. It makes it hard to determine how these trails will be affected by the development. While these trails represent a legal trespass they are well established, decades old and extremely popular and heavily used. It would be a terrible shame and a black eye on the planning process to not account for these and make provision for a future trail network that retains as much of the present network as possible. Now is the time to provide for this resource.





**Respondent No:** 49

**Login:** Registered

**Responded At:** May 18, 2022 14:11:37 pm

**Last Seen:** May 18, 2022 20:08:33 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Requesting that a high majority of the mountain biking/hiking trails be maintained as they are now or with little change to them. It is a loved area for locals to get out for some nature time and don't have to travel far.



**Respondent No:** 50

**Login:** Registered

**Responded At:** May 18, 2022 14:15:41 pm

**Last Seen:** May 18, 2022 20:09:31 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

This green space and these trails bring so much value to the city of Abbotsford and so much joy and health to it's residents. It is a place that brings community together, an area to support mental health and physical health, and is a treasure that must be cared for and preserved. As other cities are working on projects to bring in more spaces like this why is Abbotsford working towards lessening them!!? This area should be a protected reserve. Thank you for your time and consideration.  
[name removed]



**Respondent No:** 51

**Login:** Registered

**Responded At:** May 18, 2022 15:11:25 pm

**Last Seen:** May 18, 2022 21:09:18 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

There's a huge loss of wildlife areas, trails to be replaced by "green space". This area has a large user group of trail users (mountain biking and running), how many kms of trails will be lost according to trail forks?



**Respondent No:** 52

**Login:** Registered

**Responded At:** May 18, 2022 16:28:22 pm

**Last Seen:** May 18, 2022 22:25:51 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The Ledgeview trails and forest is really an Abbotsford gem. Let's be a city that attracts people with its sweet green space and recreational opportunities and not just more houses. Abbotsford already does not have a lot of trails or forested areas. We use the ledgeview trails weekly and it would be a shame to see them go



**Respondent No:** 53

**Login:** Registered

**Responded At:** May 18, 2022 17:54:41 pm

**Last Seen:** May 18, 2022 23:53:30 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I currently hike Ledgeview a few times per month and I think it is a hidden gem in Abby. It is quiet, peaceful, and the best place to hike in Abbotsford. I would love for the city to keep the space the way it is now!



**Respondent No:** 54

**Login:** Registered

**Responded At:** May 18, 2022 20:58:03 pm

**Last Seen:** May 19, 2022 02:46:26 am

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I am concerned about areas that may be developed in the future if developers can off-set environmental risks. I am concerned about the instability of the hills and rock. We saw cause a small landslide during the atmospheric rainfall in November and people on Sandringham were put on warning to evacuate. Taking out stabilizing trees and rock can only increase erosion and more risk. I'm also concerned with the amount of trails that will now be inaccessible. The hills, springs, waterfalls are a part of my and more and more peoples weekly activity. I am concerned it will be 'replaced' with halfhearted effort and no desire to preserve which the initial report seemed to give the impression. There is hinting at the Thunderbird caves on the south side being fenced off. This is a step backwards in actually highlighting the beauty of that area and will be just another subdivision instead of the local treasure that it is.



**Respondent No:** 55

**Login:** Registered

**Responded At:** May 18, 2022 21:38:08 pm

**Last Seen:** May 19, 2022 03:26:14 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

There is far too much residential added to the McKee area, and the removal/reduction of mountain bike trails is disappointing. An example to follow would be the outdoor recreation area of THORNHILL which was built by the mountain bike community in collaboration with the city. It has all ability levels of mountain bike trails and hiking/horse trails that are appropriate for all ability levels. If this plan is to go ahead, the city needs to step up to provide another area for outdoor adventure. Sumas Mountain is an option that could be maintained by the city as a mountain bike hub. As well, the addition of a pump track similar to the city of Mission or Chilliwack is needed. Abbotsford has hardly any recreation areas, so the thought of a frisbee golf area should also be added - possibly to West Abbotsford under the power lines in Clearbrook Park.





**Respondent No:** 56

**Login:** Registered

**Responded At:** May 19, 2022 09:06:27 am

**Last Seen:** May 19, 2022 14:58:36 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

With the growing demand for outdoor recreation the City of Abbotsford needs to compensate for developed area by allocating more land for trail use. I urge Mayor Braun to take a hike on McKee Peak on a sunny evening or weekend day. It is packed with people enjoying the outdoors. We have so little natural space that is accessible in Abbotsford. Sumas is not accessible. People come from Vancouver for the natural spaces that our unique area provides. McKee Peak is an incredible space. What a colossal waste to lose it. Never mind the lack of infrastructure to support it. I understand your need for development. But please, you need to cautiously clear land for development. Please don't allow clear cutting vast sections that won't be developed for decades. Preserve natural forest for people, wildlife, birds, wildflowers, etc. to coexist. Preserve more to prevent landslides. On McKee Peak there are world-class single-track trails. Trails that cost the City nothing yet many think they are City maintained trails so you get the credit. These single-track trails are currently being used by a diverse cross-section of the population in Abbotsford: seniors, families, hikers, runners, and bikers. These trails are a major tourism asset, and extremely popular among residents. They are unique compared to the other trail options in Abbotsford. Let's retain the uniqueness of the trails found here. Please, I urge you to visit McKee Peak if you haven't. Once it's gone, it's something Abbotsford can never get back.



**Respondent No:** 57

**Login:** Registered

**Responded At:** May 19, 2022 09:46:52 am

**Last Seen:** May 19, 2022 15:37:39 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The area which this neighborhood is planned will remove one of the best hiking trails in the lower mainland as well as remove the best mountain biking trails second to north Vancouver trails. I have been hiking and biking the trails that lead up to the "radio tower" (which has been recently removed) for the past twenty years. The last three years I have been going up the trails atleast four times a month. The city needs to realize that community has put loads of effort into maintaining the trails up there for hiking and biking. Youths spend countless hours biking with friends when not in school. My wife and I have endured hundreds of hikes to the top to enjoy the quiet and peaceful beauty of nature. Installing more houses are great, especially up near Ledgeview, but I don't believe it's worth the destruction of what's cherished beneath the trees and woven between the foliage. Please reconsider the location of this neighborhood elsewhere.



**Respondent No:** 58

**Login:** Registered

**Responded At:** May 19, 2022 10:48:39 am

**Last Seen:** May 19, 2022 16:45:36 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

The appeal of this area was all the hiking and nature that surrounds us. High density housing is not appealing. Developers have already created areas where they have promised parks for kids and green spaces and they do not follow through. I live beside such an area. As well there is so much wildlife in this area, bears, deer, cougars. It's amazing to be able to see some of these animals in their habitat, but they are already being forced out. Higher density housing will put these animals lives at risk exponentially. I understand development has to happen, but the high density housing that is being proposed is not the way. Don't ruin the natural beauty that Abbotsford has. Don't turn our area into a clear cut housing development like you see from eagle mountain. Don't turn our mountain into a mountain of houses.



**Respondent No:** 59

**Login:** Registered

**Responded At:** May 19, 2022 11:03:17 am

**Last Seen:** May 19, 2022 17:01:11 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I understand we need development, however we also need to prioritize keeping our trees, trails, parks and courts for our families, kids, seniors etc to use. It would be nice to have pickleball/basketball courts and a playground as well as keep our trails etc



**Respondent No:** 60

**Login:** Registered

**Responded At:** May 19, 2022 11:03:51 am

**Last Seen:** May 19, 2022 17:00:56 pm

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Very disturbing to see clearcutting with no regard for wildlife in the area. It seems developers intentions are only about profit and not quality of life for both people & nature.



**Respondent No:** 61

**Login:** Registered

**Responded At:** May 19, 2022 11:10:33 am

**Last Seen:** May 19, 2022 17:07:38 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The development of a beautiful and unique natural area like this is a travesty. There are few places left in Abbotsford that you can go for a walk through true forest. I no longer live in the area, but I moved to East Abbotsford for a couple years specifically for proximity to ledgeview in order to be able to hike and bike through this area frequently.



**Respondent No:** 62

**Login:** Registered

**Responded At:** May 19, 2022 11:25:44 am

**Last Seen:** May 19, 2022 17:24:10 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Please do not build upon Ledgeview as all of the bike and hiking trails are cherished by many around town and even non-residents to Abbotsford come here to enjoy them.





**Respondent No:** 63

**Login:** Registered

**Responded At:** May 19, 2022 11:54:19 am

**Last Seen:** May 19, 2022 17:35:32 pm

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

As a resident of Abbotsford my entire life, the wooded area proposed for the new neighbourhood has been a staple in the community. The views, trails, and the possibility to immerse oneself into nature on any day is invaluable. What a beautiful place to go to escape the hustle and bustle of every day life. That mountain and those trails are one of the main reasons I, and many like me, love living in this city. It's getting expensive to live in BC, especially the valley. But I live here and suffer the costs because I am surrounded by natural beauty, free for me to explore on any given day. Continue to encroach on, and destroy that beauty.. and many like me leave. I am furious that this plan is being proposed. You have already destroyed Eagle mountain. Leave this one alone. These trails are home to many species of wildlife who WILL be affected negatively no matter what initiatives are put in place to protect them. More bears will wander into neighborhoods only to be killed or relocated. The wild nature is beautiful to experience only a short drive or run from my home. A hike is rewarded with beautiful sunrises over the Cheam range, rather than driving up to some ugly viewing platform. The caves, waterfalls, rivers and wildlife are something magical which I dream of taking my baby girl to explore as she gets older. That mountain has instilled a sense of adventure in me since I was a kid, and continues to fuel that adventure on a weekly basis. I rarely find litter on the trails, as the users respect the land they are on and cherish it. I don't drop my granola bar wrapper, yet the rich want to tear down acres for their own selfish gain. This land is sacred, meant to be left alone. Greed drives you to want to destroy it. You need housing? Build somewhere else. Buy some farmland. Build more high rises in the city centre. Keep the city the city, and keep nature nature. This isn't Whistler village. Stop trying. Abbotsford is MASSIVE. There's still plenty of room to develop. Do not cut down more trees. Do not kill more habitats. Do not contaminate more streams. You are ruining Abbotsford one tree at a time. Shame on you should you go through with this plan.



**Respondent No:** 64

**Login:** Registered

**Responded At:** May 19, 2022 12:08:33 pm

**Last Seen:** May 19, 2022 18:03:30 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Do not build on McKee Peak. Preserve the land. Keep this as a hiking, mountain bike and walking trail for the community and province. For these trails to be demolished in favor of overpriced, condensed housing is disgusting. The trails at McKee peak are a place of community for the "city in the country". If you keep building cookie cutter townhomes, condos etc., you will become like Surrey and Langley. Do not destroy the areas, trails, and mountains that make us Abbotsford. Building these houses and keeping the roads the same? Do you not realize how ridiculous the planners look? We will become the next Willoughby all in the name of money - congrats City of Abbotsford, you're really doing something.



**Respondent No:** 65

**Login:** Registered

**Responded At:** May 19, 2022 13:10:01 pm

**Last Seen:** May 19, 2022 18:57:55 pm

Q1. **Are you a resident of the Plan Area?** Yes

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Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

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Q3. **If you would like to, please provide any detailed comments below:**

More emphasis & development of green space i.e. walkable recreation spaces & trails are required for the increase in population. Additional dog approved park area needed as overcrowded as presently exists. Traffic patterns & parking on Old Clayburn as well as Sandy Hill must be addressed & enforced around schools. Traffic flow being blocked by parents dropping off & picking up kids, and students driving. Road rage & excessive reduction in allowing community to effectively use these roads presents a serious safety situation on a regular basis.

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**Respondent No:** 66

**Login:** Registered

**Responded At:** May 19, 2022 14:35:23 pm

**Last Seen:** May 19, 2022 20:34:58 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 67

**Login:** Registered

**Responded At:** May 19, 2022 16:15:33 pm

**Last Seen:** May 19, 2022 21:55:19 pm

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

It is difficult to understand how this plan will address the crisis in affordable housing in Abbotsford and achieve the City of Abbotsford's 200K initiative. There are virtually no condo units in this plan, which does nothing to provide housing for low income households and seniors. While recreation area's are definately an asset to the community, it makes little sense to squander precious residential development land on extravagant recreation areas which could easily be located on unserviced rural land nearby in the Straiton bowl. Undoubtedly, this plan will drive up the price of housing in Abbotsford even further, but at least there will be lots of parks so the homeless can have a view from their tent.



**Respondent No:** 68

**Login:** Registered

**Responded At:** May 19, 2022 16:34:52 pm

**Last Seen:** May 19, 2022 22:34:14 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Taking away the reasons I built and live in this area.



**Respondent No:** 69

**Login:** Registered

**Responded At:** May 19, 2022 16:38:33 pm

**Last Seen:** May 19, 2022 22:25:18 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Please, please, pretty please do not destroy our trails!!!! They are well used by many. The more popular trails like Mill Lake and Discovery are way too busy already. McKee trails provide a more challenging outing. Don't take that away.





**Respondent No:** 70

**Login:** Registered

**Responded At:** May 19, 2022 16:41:29 pm

**Last Seen:** May 19, 2022 22:37:10 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I regularly hike the various trails at Ledgeview, and I think it's an absolute shame to add more housing up there, especially the amount that's being proposed. It's an incredible thing to have the mountain available for recreational use, it's been awesome to have a hike so close in Abbotsford. This feels like it's all about money and someday there's going to be nothing left. We're already reaping the consequences of cutting down trees, let's not keep making it worse.



**Respondent No:** 71

**Login:** Registered

**Responded At:** May 19, 2022 16:47:17 pm

**Last Seen:** May 19, 2022 22:45:19 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Please, please don't build on these trails. Our whole family uses these weekly. They are so beautiful and we need more of these natural spots in Abbotsford. My husband bikes here, I run here and our family walks here together. This is one of Abbotsford's greatest gems!!! Please build somewhere else!



**Respondent No:** 72

**Login:** Registered

**Responded At:** May 19, 2022 17:36:26 pm

**Last Seen:** May 19, 2022 23:33:50 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

This seems pretty unambitious in terms affordable housing. There's so little that everyday people can afford now, why isn't the city building more to catch up?



**Respondent No:** 73

**Login:** Registered

**Responded At:** May 19, 2022 17:49:28 pm

**Last Seen:** May 19, 2022 23:47:17 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I would rather see this beautiful mountain left in its natural state. There is plenty of less desirable land to develop within Abbotsford.



**Respondent No:** 74

**Login:** Registered

**Responded At:** May 19, 2022 18:40:03 pm

**Last Seen:** May 20, 2022 00:34:10 am

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

- Too many parks for current housing shortages in Abbotsford. •Not enough condos to adress our current housing shortage.
- Does not address low income households or our seniors.



**Respondent No:** 75

**Login:** Registered

**Responded At:** May 19, 2022 18:44:55 pm

**Last Seen:** May 20, 2022 00:43:33 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

The green space being kept should be left as single track hiking and mountain biking trails



**Respondent No:** 76

**Login:** Registered

**Responded At:** May 19, 2022 19:02:09 pm

**Last Seen:** May 20, 2022 00:58:58 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

If you are taking away land to build for population, what are you contributing to the environmental to support the growing population? Will you also be adding new trails to replace old ones taken away? Lots of residents use these existing trails for recreational purposes. We are not interested in more pavement parks or gravel trails.



**Respondent No:** 77

**Login:** Registered

**Responded At:** May 19, 2022 19:06:01 pm

**Last Seen:** May 20, 2022 00:58:33 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I believe given the extreme shortage of housing in the lower mainland the COA has a unique opportunity to create a densified neighbourhood on a beautiful property while retaining the green space all of us want. I would support more multi-family type housing if it was architecturally pleasing to the eye in the context of surrounding area.





**Respondent No:** 78

**Login:** Registered

**Responded At:** May 19, 2022 20:12:48 pm

**Last Seen:** May 30, 2022 13:29:13 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

This area home to a lot of wildlife, unique flora and wetlands. It has been responsibly used by mountain bikers, hikers and trail runners for many years. These activities do not impact the natural area anywhere near what this plan is going to impact. I realize that Abbotsford needs to find a way to spread out, however, multiplying the population to this extent on this land will greatly increase the issues of flooding and landslides and negatively impact the natural flora and fauna. Even though you are leaving park land, the close proximity of houses and people and all the infrastructure necessary will still have a negative impact. Scale it down if you can. And leave more natural area for our community.



**Respondent No:** 79

**Login:** Registered

**Responded At:** May 19, 2022 20:47:23 pm

**Last Seen:** May 20, 2022 02:46:58 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 80

**Login:** Registered

**Responded At:** May 19, 2022 20:51:04 pm

**Last Seen:** May 20, 2022 02:35:52 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

As one of the only single track trail networks in Abbotsford, I am concerned about the impact development will have on McKee Peak. Myself and my family are avid trail users. We use this network of trails to support our physical and mental health. We have seen trail use grow exponentially over the last 4 years. Many Abbotsford residents use this area to recreate and recharge. Although I understand this area needs to be developed and that it is private property, the city has a voice here and can stand up for many of their residents who use these trail networks. Preserving these trails should be a priority when planning. The plan discusses viewing platforms and parks. The city has so many parks already and half the time they are deserted. A priority here should instead focus on saving the network of trails that has been tirelessly created by a network of volunteers that are enjoyed by all ages. Once these trails are gone, there won't be any other areas in Abbotsford to rebuild them. We need balance here and a well developed and extensive trail system could be a driving factor in filling and selling the new development. I hope the city is seriously considering and listening to our concerns and acting on them.



**Respondent No:** 81

**Login:** Registered

**Responded At:** May 19, 2022 21:18:28 pm

**Last Seen:** May 20, 2022 02:57:09 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I don't live on Mekee peak but I mountain bike and hike on the mountain at least twice a week and it is a place that should be saved and not some where to build houses the housing should be built in the city not in limited forest space. I Just ask the city will reconsider the permeant to build here and save the space from people that just want to make money off a view. The space that is being used by many people to get out and have a good time. The mountain is a place that is recognized as one of the most unique places to ride in the Fraser valley. It is a shame that the city will lose such a important part of the community as many younger kids grow up on the mountain so to speak. I know of two famous YouTubers that grew up on the mountain and they have nothing bad to say about the mountain. I cant get past the fact that the city will so willingly give up a land that is used by many and is a important part of the city of abbotsford.



**Respondent No:** 82

**Login:** Registered

**Responded At:** May 19, 2022 21:22:33 pm

**Last Seen:** May 20, 2022 02:58:45 am

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Referencing draft plan (slide 10), - we reside at 2842 Whatcom Road (Forest Ridge Townhouse Complex). Immediately above us is the green coded area, on the slide referred to as 'Open Space'. Above that, the diagonal lined area noted as 'Geotechnical risk areas overlay, has us concerned. We are still looking at the physical aftermath of the Nov.2021 landslide that occurred just above us (in the green area), and has restricted our vehicle passage within our complex. We were evacuated for 12 days in Nov. and were allowed to return home when no future slides were deemed imminent. The water run off in heavy rains is still a huge concern to residents of both our complex and those on the street below (Sandringham). The sidewalk on the north side of Sandringham shows buckling from water damage. Another heavy rain period will likely make all these areas susceptible to further rain/run off damage. - The concern we are feeling is that for any development above the green and diagonal lined areas to begin, shouldn't water runoff issues be addressed for those living below the green and diagonal lined areas? Whether water is directed by culverts or other directional methods is not the concern so much as that they be directed with the specific intent to avoid future landslides from the slope simply sliding down. We are witnessing erosion on our slopes now and some slope reinforcement and water runoff management appears to be a necessary first step before altering any of the land above the unstable areas. - Please feel welcome to contact us, or drive by and see what we see. We would welcome conversation in regards to our concerns. Particularly Units 13 thru 18 (those evacuated in Nov. 2021).



**Respondent No:** 83

**Login:** Registered

**Responded At:** May 19, 2022 21:51:48 pm

**Last Seen:** May 20, 2022 03:41:19 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I am very concerned about the retention of natural habitat for wildlife and plant life. Please, please no clear cutting but rather maintain the trails and protect the vulnerable environment. My kids and I hike them almost weekly and we would be devastated to see it our beautiful natural landscape destroyed. Also I am very worried about the increased population and the stress it will put on an already very poorly organized Whatcom exit at Hwy1. I want to know how the hwy system and transportation infrastructure is going to be addressed with such an increase in residents, and how other levels of government are working alongside Abbotsford in this regard.



**Respondent No:** 84

**Login:** Registered

**Responded At:** May 19, 2022 22:18:29 pm

**Last Seen:** May 20, 2022 04:15:44 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The city of abbotsford has an opportunity to take advantage of great existing trails. This plan leaves very little amount of single track trails. When you look at the trail usage of discovery trail compared to mckee peak you can see what the residence of the city want and its not more gravel trails throughout houses



**Respondent No:** 85

**Login:** Registered

**Responded At:** May 19, 2022 23:33:13 pm

**Last Seen:** May 20, 2022 05:31:21 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Please dont get rid of the trails and the trees! Plus McKee is going to need to be expanded to have this many people driving it every morning. It makes no sense to put all these people in there with no proper road to take them down the hill. It's already congested as it is. It will be brutal getting to work in the morning.





**Respondent No:** 86

**Login:** Registered

**Responded At:** May 20, 2022 06:38:21 am

**Last Seen:** May 20, 2022 12:34:22 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

We moved here 20 years ago because we had freedom. We could have a firepit in back yard, fireworks, large trucks banned on McKee Road. We have deer that visit us in our yard. NO MORE TRAFFIC ON McKEE ROAD unless we have a user operated traffic light in front of our home. You also took away street parking in favor of bike lanes - we need street parking back.



**Respondent No:** 87

**Login:** Registered

**Responded At:** May 20, 2022 08:40:01 am

**Last Seen:** May 20, 2022 14:37:02 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

While development is of course inevitable, and needed for housing, etc. We're looking at an area that has served as a beautiful natural and leisure space to a range of people for years. I'd request liaising with Abbotsford Trail Running Club, Fraser Valley Mountain Biking Association, and the Se'math people moving forward to ensure development is done in a way that honours current use of this area.



**Respondent No:** 88

**Login:** Registered

**Responded At:** May 20, 2022 11:10:32 am

**Last Seen:** May 20, 2022 17:04:04 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Yes, completely!

Q3. **If you would like to, please provide any detailed comments below:**

As a young married couple my wife and I have looked at housing in Abbotsford and have been priced out due to high prices and low supply. The fact that we have several young newly married friends who are engineers, nurses and consultants and can't afford home prices in Abbotford speaks volumes. My family lives in Abbotsford and I want to stay here, but if new building projects like these keep getting postponed/cancelled, it leaves us and many others, with no other choice but to leave if we want a home. Please continue to develop new neighborhoods that can lead to affordable housing. Thank you for you taking my voice, and many other young couples voices, into account.



**Respondent No:** 89

**Login:** Registered

**Responded At:** May 20, 2022 13:38:10 pm

**Last Seen:** May 20, 2022 19:35:52 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Kids and people of all Ages enjoy using this mountain for everything from hiking to mountain biking. Destroying one of the only places they have left would be horrible.



**Respondent No:** 90

**Login:** Registered

**Responded At:** May 20, 2022 16:47:08 pm

**Last Seen:** May 20, 2022 22:39:26 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Yes, completely!

Q3. **If you would like to, please provide any detailed comments below:**

I fully support the growth of our neighbourhood in this fashion, as long as you actually follow the parameters outlined in the draft plan. Specifically that the design be modeled after Whistler. We live in the mountains, and love the natural surroundings. As such, it would be great to have a large walk way and outdoor patio space through the new neighbourhood centre for brewery's/restaurants/breakfast bakery, etc. It would be wonderful to have a neighbourhood square, to host a Christmas Market, or summer concerts, etc. It could be a hub for the bike trails that are internationally known, so bike access would be necessary. Thank you for your time in designing this quality style.



**Respondent No:** 91

**Login:** Registered

**Responded At:** May 20, 2022 21:03:21 pm

**Last Seen:** May 21, 2022 02:54:11 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Yes, completely!

Q3. **If you would like to, please provide any detailed comments below:**

This is a beautiful plan which will create many jobs, promote further growth within our city, provide our city with new schools, and generate additional property taxes to further Abbotsford's infrastructure and future planning. This is a beautiful property which I have enjoyed many times hiking the trails and would completely endorse its development. The positive far outweigh the negative and will contribute to continuing Abbotsford growth and desirability as the Valleys place to call home!



**Respondent No:** 92

**Login:** Registered

**Responded At:** May 21, 2022 00:54:40 am

**Last Seen:** May 20, 2022 23:19:51 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

The vision for this neighbourhood is very extensive and impressive! Yet I would request caution even while admiring your endeavours to create such a unique and attractive community. These trails are an incredible asset to Abbotsford; I so appreciate having free access to them. As a resident of Abbotsford and frequent visitor of the Ledgeview trails I am concerned that despite the intent to retain some of the trails and intent to keep the mountains and history in the village and area, that ultimately much of the green space and natural state of the trails will be lost. I understand that development is going to come to Ledgeview, but I ask that the developers please ensure that residents of all of Abbotsford will continue to be able to enjoy hiking, mountain biking and trail running on these beautiful trails during and after the development process. That they will not simply be reduced to paved paths for a leisure bike ride or a walk with the stroller. We have many paths (discover trail, mill lake, fish trap, etc.) with paved paths. Please do not lose the appeal and uniqueness of the Ledgeview trails. The health and mental well-being of many residents of all ages is dependant on having access to outdoor trails on Ledgeview. I wish you well in this development and I hope that you can achieve both: build a beautiful community and leave intact the integrity of the Ledgeview trails.



**Respondent No:** 93

**Login:** Registered

**Responded At:** May 21, 2022 08:59:39 am

**Last Seen:** May 24, 2022 04:43:50 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

In its current form the plan seems more like an extension of the Highlands - just another average subdivision for the wealthier among us - rather than a visionary preservation of truly wild corridors and viewpoints that put the mental and physical well-being of the general public at the forefront. It's a start, but I really don't think it goes far enough. Trail corridors that are contingent on developer ingenuity at mitigating high slope risk is not a commitment to trail preservation. We need a Mill Lake Park or Central Park on the mountain, in the middle of lower elevation developments, so that anyone with the legs to carry them can get away from it all without going very far. A few suggestions: can this plan commit to more wild or natural forest corridors? Can geotechnical high risk areas be dedicated to trail corridors rather than contingent on developer's willingness to mitigate the building risk? Can the best viewpoints along the southern plateau edge be protected like a public beach, with public access along the whole length, rather segregated into private lots? Can the legendary trails below the cliffs and along the caves be maintained and monitored rather than decommissioned? Can a vision be developed that connects the McKee natural trail park to yet-to-be-developed trail systems north of Auguston (Long Way Home area) and eventually to the Sumas Mtn recreation area? Can the City work with the Crown, FVRD and Semá:th Nation to expand the boundaries of the Sumas Mtn Regional Park and develop trail systems that envelope all sides of Sumas Mtn, eventually connecting to Barrowtown and the dyke path across to the Veddar River and those trail systems? I see an opportunity to create something truly unique to Abbotsford that allows trail systems to extend from McKee through Auguston over Sumas Mtn and on to Veddar Mtn, creating a chain of wild park environments that will be attractive to trail adventurers anywhere. Something so unique could only add to upstream mental and physical well-being. I appreciate how much work has gone into the current draft, though I think more could be done to make it truly exceptional.





**Respondent No:** 94

**Login:** Registered

**Responded At:** May 21, 2022 10:03:58 am

**Last Seen:** May 21, 2022 15:44:01 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Yes, completely!

Q3. **If you would like to, please provide any detailed comments below:**

I believe this will be a great asset to the community if done correctly. You have a chance to do a wonderful thing here to make Abbotsford residents proud! By this I mean there needs to be a nice mix of residential, coffee shops, a pub and restaurants, and a small grocery. You need to make it a great place where people will want to venture to to spend their money and gather, and where shop owners will want to establish. Please look at other successful villages like Fort Langley, or Edgemont village in North Van or even downtown Victoria or Whistler to see what is working and model it after those. There is a recipe for success already established. I also think a priority should be landscaping. By this I mean landscaping should be required! There should be nice mix of shrubbery and trees and flowers. For example the relatively new BMO building on South Fraser Way should have had more setback with landscaping instead of looking like a cement wall from the road. Additionally thought should be given to parking and traffic flow in the area since there are already many cars going through McKee from Auguston. Will the Whatcom Connector be expanded? I look forward to this being a destination that Abbotsford residents can be proud of and enjoy.



**Respondent No:** 95

**Login:** Registered

**Responded At:** May 21, 2022 11:49:53 am

**Last Seen:** May 21, 2022 17:45:41 pm

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The Ledgeview area is invaluable as a nature area and trail system. Any development threatens that.



**Respondent No:** 96

**Login:** Registered

**Responded At:** May 21, 2022 14:56:31 pm

**Last Seen:** May 21, 2022 20:50:45 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Recently the BC government stated that everyone should have an emergency plan in place. I live in Auguston since 2001 and still there is only one exit/entrance to the community. In case of an emergency good luck to the people trying to flee. The community was built with many curved roads in which I believe was to enhance a slower paced traffic, but the speed limit remains 50 KM. That is way too fast for these streets as that visibility is limited due to these curved roads. There should be roundabouts at each intersection and until then I don't need another umpteen thousand people living here.



**Respondent No:** 97

**Login:** Registered

**Responded At:** May 21, 2022 20:10:41 pm

**Last Seen:** May 22, 2022 02:09:54 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The trails and local mountain area are a vital place to maintain and explore. There are better places to put houses. Let's keep nature wild



**Respondent No:** 98

**Login:** Registered

**Responded At:** May 22, 2022 08:26:57 am

**Last Seen:** May 22, 2022 14:21:31 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

One of the main reasons we moved here was that the trails in this area were so close and offered many options. We use many of the trails that would be developed in your plan daily and we are unhappy that so much development is taking place in this beautiful area. With increased traffic, less trails and more people using the trails, I'm not sure we're going to stay here. We will be looking at more natural park friendly cities such as Chilliwack and Langley if we move. Our feeling is that council is more concerned with development money than keeping the natural feel of the area. This is being made abundantly clear by the overdevelopment of Eagle Mountain - clear cutting trees on the ridge which completely ruins the natural feeling of being in this area.



**Respondent No:** 99

**Login:** Registered

**Responded At:** May 22, 2022 18:07:39 pm

**Last Seen:** May 22, 2022 23:38:28 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I have familiarized myself with the plan through your documents and attending an open house. The plan that I see presented is mere a progression of the current neighbourhoods on McKee. There seems to be plans for development on all the available land aside from geotechnically at risk areas or around streams. There does not currently seem to be any plans to buy or protect land because of it's value as a natural place where people can go for mental and physical wellness. If what is achieved by the city is another subdivision for the more wealthy among us, this will fall far short of the potential that is possible with this amazing piece of land. My wife and I moved to Abbotsford 2 years ago with our family. I am a family physician and my wife is a therapist. We acutely understand the need for places like McKee being available to people. We largely chose to move to east Abbotsford so that we would be able to be on a good nature trail in 10 min. We use the trails several times per week We had no idea that McKee was slated to be developed. Abbotsford is very unique in that it has an amazing undeveloped parcel of land with very interesting features that is extremely close to the city's downtown. Thoughtful development that prizes these spaces for the mental and physical health of it's citizens will leave the legacy that the planning committee should be striving for. It seems feasible to use the current trail systems that run from Devon falls and from the Caves to link them with continuous trails to the peak. It seems feasible to protect some of the geotechnically at risk areas of the peak from development so that there is a natural reserve that would serve as hub of trails coming from Devon Falls, the caves and then down toward Auguston. Such linkages would make these trails more amenable to the kind of hiking and biking that they are current being used for. This would increase the value of the homes that are put on McKee and would attract more people to a city that can show itself as valuing the beautiful places where it is situated. This current plan is a start, but I hope that more can be achieved to protect this wonderful natural asset before the plan is finalized.



**Respondent No:** 100

**Login:** Registered

**Responded At:** May 22, 2022 19:39:51 pm

**Last Seen:** May 23, 2022 01:36:40 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

The current trail system on McKee Peak, especially the McKee Bluffs area is excellent. It would be a terrible shame to see it divided up with houses and development. McKee Bluffs themselves are unique and the trees, wildflowers, vegetation, birds and wildlife are wonderful. Access to them by the trail system must be preserved.



**Respondent No:** 101

**Login:** Registered

**Responded At:** May 22, 2022 22:08:42 pm

**Last Seen:** May 23, 2022 03:17:05 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

This plan is stupid. The areas where the trails exist should be turned into parkland. This plan is building sprawl. A little bit of development here and a little bit there. Bus service would be garbage or non existent. Cycling and walking for transportation would be difficult due to the elevation changes. Abbotsford should redevelop the wide swaths of the city that are single family zoning with multi family zoning and mixed use. Abbotsford is a car centric city that literally kills it's residents with poor infrastructure for cycling and walking, fast moving traffic and a lot of traffic. Distances from homes to shops are long using anything but a vehicle due to a non grid street layout that encourages driving and discourages anything else. This plan just builds more of the same but instead is doing it on a mountain that has a very high wildlife and recreational value that should be preserved for the residents to enjoy and enhanced. What the plan builds or leaves for trail corridors look to be service roads for sewer and water pipes. Is this plan considering water and sewer needs to service all of these small areas of developments here and there on the mountain? The plans are very misleading as it doesn't show what will be destroyed from the "informal" trail network. A trail network that has seen tens of thousands of volunteer hours to create. It looks like about 80% of the trail network will be destroyed, especially if geotechnical assessments allow building. Why not scale back this plan to only develop where there are not any trails already? Why not focus on redeveloping the sprawl of Abbotsford and turning it into a city where residents have a choice on how they get around? Get into the 21st century already! Climate change, obesity, traffic deaths and injuries all need to be addressed at the local level in our cities. Building more garbage like this only exacerbates the problem!





**Respondent No:** 102

**Login:** Registered

**Responded At:** May 22, 2022 22:21:19 pm

**Last Seen:** May 28, 2022 06:57:49 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

This plan needs more outdoor recreation areas. Also sports fields for baseball softball and soccer. Also needs a rec Center as arc and MRC are not adequate for a community this size. Traffic concerns for this area to double the population. Roads to and from the area are inadequate and is missing in this plan



**Respondent No:** 103

**Login:** Registered

**Responded At:** May 23, 2022 11:16:46 am

**Last Seen:** May 26, 2022 16:27:32 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I have significant concerns that the city is not taking this opportunity to preserve a green space for future generations. Once this is gone, it is gone, wildlife and humans will be negatively impacted by the destruction of a local accessible natural space. Further, in open houses the posters state that the space will "reconnect First Nation traditions to the landscape" - how exactly is that being done without providing First nations the direct ability to own and manage their traditional lands? This is hugely performative language and simply checks a box with bolded words of "cultural inclusivity" rather than valuing the Indigenous people and their deserved autonomy to connect with their land.



**Respondent No:** 104

**Login:** Registered

**Responded At:** May 23, 2022 15:24:22 pm

**Last Seen:** May 23, 2022 21:22:36 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

The area including McKee trails and large ledgeview area are so important to families in Abbotsford. It's an area we can enjoy with our kids and get out into nature. The area needs to stay available for hiking and biking and enjoying the beautiful area of Abbotsford with our families and pets.



**Respondent No:** 105

**Login:** Registered

**Responded At:** May 23, 2022 15:59:47 pm

**Last Seen:** May 23, 2022 21:58:18 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

My biggest concern is the very popular trail network on McKee Peak (Ledgeview trail system) Whatever plans take place I would hope that the trails are incorporated



**Respondent No:** 106

**Login:** Registered

**Responded At:** May 23, 2022 16:02:33 pm

**Last Seen:** May 23, 2022 22:01:10 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

I come to this area to mountain bike the trails in Ledgeview. I hope the trails are maintained to a similar character as now. I tie in my mountain bike trips with shopping for local food.



**Respondent No:** 107

**Login:** Registered

**Responded At:** May 23, 2022 16:04:29 pm

**Last Seen:** May 23, 2022 21:56:01 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

We want to preserve this beautiful area as much as possible. Designate more land towards a vast wild forest park setting, not the bare minimum for wildlife corridor and stream protection. Central Park in New York City, Stanley Park in Vancouver, we could have a McKee Park right here in the Valley, something to be proud of. Areas set for geotechnical high risk be designated for trails, not the developers willingness to spend more to develop. Protect the viewpoints. Maintain the world class single track trails, no to gravel pathways. This is copied and pasted from the McKee Peak Collective Group on Facebook.



**Respondent No:** 108

**Login:** Registered

**Responded At:** May 23, 2022 16:32:28 pm

**Last Seen:** May 23, 2022 21:32:41 pm

**Q1. Are you a resident of the Plan Area?**

Yes

**Q2. Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

**Q3. If you would like to, please provide any detailed comments below:**

Having looked for the plans I have many concerns. 1) It does not look like enough "wild" space will be left for animals or their environments. They have been pushed out due to eagle mountain development as well as Auguston development. Where will these animals go? Will we be calling animal control, because "not in my backyard" will have these animals all euthanized? 2) Protected species was touched on in the plan. Is there enough distance between those protected environments and the constant construction noise and vibrations? I don't believe the minimum is what we should be striving for. I think we all know as humans the stresses involved being in a constant construction zone, therefore serious consideration needs to be made in more than the bare minimum. 3) Water ways and ponds, one only has to drive down Wright street to see how polluted the ditches are on that road. Is that what we can expect down stream from this new development? Is there accountability from the developers to the fish bearing streams that will be affected by the added strains from the storm drains uphill? It looks like the new plans rely on new plantings rather than the native trees and established natural filtration. 4) Retail space? I remember being told that Auguston was going to be its own little community in the mountain. That never panned out. How will this be any different than what was promised for Auguston? Will this really be a financially reasonable place to shop? How often will deliveries be made? How will the extra load of commercial traffic affect the local area? Wear and tear on the roads, posted speed limits being appropriate for these big trucks. Maybe a polling of surrounding areas needs to be made as to who would shop there? Whatcom Road is not very far, nor is the Parallel Market. Before we start ripping up this beautiful area for something that will be filled with "For Lease" signs. I believe it should be put to a vote if it's needed or wanted by the immediate surrounding neighbours and potential customers. 3) Trails and parks. I am all for accessible parks and walking trails to be enjoyed by everyone. I also feel there is a need for single track trails to be used by bikers, hikers and runners. There are so many amazing multi use trails that once they are gone they are gone. My own children love and use these trails. To take this away from future generations will be a real shame and one I think will be questioned in the future. With mental health and obesity getting worse every year why take away an amazing jewel for Abbotsford that would help your own citizens and also with tourism. I feel like developing now will be a short term financial gain. Having the city invest in a park and trail system will pay off long term. Happy residents will lead to happy consumers keeping money in local businesses. I am strongly opposed to developers that rip out trees and then pay a small fine for their "error". Well those fines won't help my children or grandchildren and their futures. The time is now for Abbotsford to really really look at the developments and who is really going to benefit from them. These homes will certainly not be affordable for my children or any young adults I know. 5) Proposed schools. Is there a promise from Abbotsford school district and the provincial government to have these schools built? Over crowded schools is already a problem in the east side of Abbotsford. Thank you for taking the time to read my response.



**Respondent No:** 109

**Login:** Registered

**Responded At:** May 23, 2022 16:51:40 pm

**Last Seen:** May 23, 2022 22:05:32 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

While new development is necessary and welcome, the Draft Plan does not go nearly far enough toward featuring and preserving the incredible outdoor amenities and trail system of McKee Peak, which are among the best in the region and make Abbotsford a great place to live. Through the Plan, the City should commit to purchasing and reserving land for park and trail development at the summit of McKee Peak and on the cliffs overlooking Sumas Prairie, the views from which are world-class for an urban area. As development along the cliff edge is not possible due to geotechnical setbacks, the Plan should commit to reserving these areas for a public trail system that connects key viewpoints. The Plan is an opportunity for the City to create an extraordinary neighbourhood that blends additional housing and development with preserving and enhancing the natural amenities of McKee Peak. While the draft Plan references trail corridors, view points, and open space, the Plan must commit more strongly to a cohesive trail network along watercourses and above and below the McKee Peak cliffs and summit. Without a stronger focus on preserving and enhancing parks and trails, especially at the McKee Peak summit and cliff edge, I think the Plan will not result in a unique and exceptional neighbourhood, but rather an exclusive, cookie cutter subdivision that diminishes the value and quality of life in Abbotsford, to the detriment of the City, its residents, and local region.





**Respondent No:** 110

**Login:** Registered

**Responded At:** May 23, 2022 17:14:08 pm

**Last Seen:** May 23, 2022 23:10:57 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

As a long time trail user of this mountain, I am concerned about the potential loss of use of the existing trail network. On the other hand, I am interested in the concept of linking the Ledgeview trail system with the Sumas mountain trail system.



**Respondent No:** 111

**Login:** Registered

**Responded At:** May 23, 2022 17:19:43 pm

**Last Seen:** May 23, 2022 23:19:23 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

As a long time trail user of this mountain, I am concerned about the potential loss of use of the existing trail network. On the other hand, I am interested in the concept of linking the Ledgeview trail system with the Sumas mountain trail system.



**Respondent No:** 112

**Login:** Registered

**Responded At:** May 23, 2022 17:20:55 pm

**Last Seen:** May 23, 2022 23:19:51 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Let nature Be. Natural environment, natural trails.



**Respondent No:** 113

**Login:** Registered

**Responded At:** May 23, 2022 17:28:06 pm

**Last Seen:** May 23, 2022 23:01:13 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I am an avid user and enjoyer of the McKee Peak -ledgeview trails. I have mountain biked on those trails for about 25 years and have seen them grow and get enjoyed by many many people of many different ages, skills, abilities, and ethnicities. As a director of the FVMBA- Fraser Valley Mountain Bikers Association, I understand that the McKee Peak land is private land. We appreciate that we, and all the other people, have been able to enjoy the land for many years. We understand that much of the McKee peak will be developed by the developers to build homes that many people also want. So, we appreciate that the City of Abbotsford has worked hard to make a comprehensive plan to try to balance out the goals of the developers and balance that out with the beautiful landscape, and with its challenging terrain, to create an "open space network". p 21 to "enhance outdoor recreation" p. 16, and to create an "outdoor adventure hub". p. 18. So, with all the goals for the McKee Peak, I strongly want Abbotsford to follow through with creating this "outdoor adventure hub". p. 16 and building and protecting trails so that many people and "enjoy the vast outdoor recreation opportunities". p. 18. In other words, please make sure what you say that you want and promote (trails and open space), truly does happen. So, I ask for 2 things- #1 create a connected network of open space as large as possible with land that cannot be developed. Then, #2. make it so that more of the "geotechnical risk areas" p. 23 become open space (even if it is physically possible to develop that land. Any slope can technically become developed with enough concrete and retaining walls.) In other words, if you need to change bylaws to make this happen, good. Or, have the City buy key lands to create the "trail (that) are an essential component of the neighbourhood and will help to prioritize people, not cars.". p. 49, 51. So, if the trail corridor areas and the green space on p. 52 (map 14) are the final result, ( and then the FVMBA and the City design and build some amazing singletrack and dirt trails), we could have world class Stanley Park in the middle of Abbotsford!



**Respondent No:** 114

**Login:** Registered

**Responded At:** May 23, 2022 17:38:18 pm

**Last Seen:** May 23, 2022 23:29:06 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I am disappointed by the plan to change the landscape of McKee Peak. I see this as an opportunity to exploit the earth's resources for capitalistic gain. One doesn't need to look far to see how us humans have destroyed the natural beauty around us that exists in Abbotsford, from rock quarries to Eagle Mountain. All I see is an increase in the rich profiting off of destroying another mountain for wealthy individuals to inhabit. I would love for Abbotsford to maintain its natural beauty in an area like McKee peak. I see so many individuals and families benefiting for the mountain as it is now. Sure there are no profits to be had but that's part of its beauty, all are welcome, all can enjoy creation, and creation can continue to exist in its natural home. I will be devastated should the plan go through on this mountain.



**Respondent No:** 115

**Login:** Registered

**Responded At:** May 23, 2022 17:40:25 pm

**Last Seen:** May 23, 2022 23:32:30 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Save the trails, no gravel paths. We need a safe space for our families to hike/ride in since west Abbotsford parks are taken up by the homeless and are already heading eastward. The traffic congestion from an additional 15,000+ residents alone will be a problem, despite widening the roads and causing delays from its construction. The Whatcom exit will be a huge problem during peak hours. We need a full community centre, or two up here with a library. A police station, ambulance station but I do see a fireball proposed which is expected. Too many residences and people planned in my opinion. How much research as been done about landslides on the mountain, especially after clearing/disturbing areas? What will this do to our existing land values?



**Respondent No:** 116

**Login:** Registered

**Responded At:** May 23, 2022 18:21:09 pm

**Last Seen:** May 24, 2022 00:13:26 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I would like to see all the current trail systems in the McKee and Ledgeview areas to be maintained and kept in tact for recreational use for people that live in this neighborhood. We moved into this area over 5 years ago in large part because of the green space, forest and trail systems in this area. As a family with kids and a dog, we regularly explore around this neighbourhood and feel very strongly about the keeping the trail systems, forests and green space in alignment with the way it exists currently. For mental health during the pandemic, walking hiking and biking are so important and vital to see people thrive. I see the way my neighbours mountain bike, my kids walk our dog in the forest trails and my husband and I hike in this neighborhood prolifically. Please think of the mental health of McKee residents and the important environmental and community impact and maintain the trails and forest in this neighborhood!



**Respondent No:** 117

**Login:** Registered

**Responded At:** May 23, 2022 18:35:52 pm

**Last Seen:** May 24, 2022 00:34:21 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Please keep the trails. We need them. Hiking, biking, walking, running. Less dense housing, more nature.





**Respondent No:** 118

**Login:** Registered

**Responded At:** May 23, 2022 19:25:59 pm

**Last Seen:** May 24, 2022 01:20:00 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Yes, completely!

Q3. **If you would like to, please provide any detailed comments below:**

Hi, my husband and I have lived in Abbotsford for a while now and are totally in support of the Mckee housing/neighborhood plan. We are well aware of the need for affordable housing here in Abbotsford, so we are so excited for the value that a lush green neighborhood would provide for young and established families. This would create such a great incentive for families to stay here and build this community. Thanks for forwarding this mission!



**Respondent No:** 119

**Login:** Registered

**Responded At:** May 23, 2022 20:13:28 pm

**Last Seen:** May 24, 2022 01:57:20 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I moved to this neighbourhood because of the beautiful trails on McKee Peek! I totally understand more homes wanting to build here, but to replace the majority of the trails is so sad. The trails are a gem to our whole community! I would hope the City to invest in growing the trails and promote outdoor activities and fitness. This is a true "city in the country" ; take the trees and land away and we become just another city. I am a trail runner, and am on these trails 3-5 times a week. my kids learned to mountain bike on them. We love to hike as a family (literally rain to shine) year round! I have made some of my best friends running together here! As a founder of ATRC and creator of the girls trail running group Fox Fleet we CONSTANTLY hear "wow, this is in our backyard, what a incredible place". McKee Peek promotes friendly interaction with other hikers of all race and age, it truly brings people together like no other way. I believe Abbotsford would benefit so much more by keeping the trails more intact.



**Respondent No:** 120

**Login:** Registered

**Responded At:** May 23, 2022 22:06:13 pm

**Last Seen:** May 28, 2022 20:40:39 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

You are destroying a important part of our community by demolishing the mountain biking trails. We love these trails and do not want to give them up



**Respondent No:** 121

**Login:** Registered

**Responded At:** May 23, 2022 22:54:00 pm

**Last Seen:** May 24, 2022 04:26:25 am

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

We've seen the draft plan and realize development is going to happen. We ask that you take the following into account: - Preserve as much of this beautiful area at McKee/Ledgeview as possible and designate more land towards a wild forest park setting. DO MORE THAN THE BARE MINIMUM. We don't need more manicured parks and gravel wide trails in Abbotsford. So many people use this area for recreational purposes. It is not the same as any other mountain or trail system area in Abbotsford. It's unique. It gets my kids (13 and 9 year olds) and their friends out on the trails on a daily basis. They have all learned to mountain bike on these trails. I run on these the trails at Ledgeview and my husband mountain bikes. We did not do these activities before we moved into the neighbourhood. Many families we know hike, bike, run, and go for walks on a regular basis at McKee/Ledgeview. We have all moved into this area because of this trail system. It is so important for the physical and mental health of our community to have outdoor places like this for us to spend time. It's close by and convenient. -Maintain the world class single track trails. We don't need more gravel trails. -Do more than the bare minimum for wildlife corridor and stream protection. Go over and above what is required. -Designate the areas that are marked as geotechnical high risk as trails and protect the viewpoints. Don't leave it up to the developers. Protect the viewpoints and the caves. -Work with local organizations like Fraser Valley Mountain Biking Association and the Abbotsford Trail Running Club. -Also, developing houses, schools, and clearcutting the forest doesn't sound like "reconnecting" Indigenous peoples to their lands. Are there any Indigenous people part of creating this new city plan for the McKee area? Is any of the land being given back to them to use or manage? Are they part of this conversation? Thanks for reading my concerns and feedback.



**Respondent No:** 122

**Login:** Registered

**Responded At:** May 23, 2022 23:27:16 pm

**Last Seen:** May 24, 2022 04:50:03 am

**Q1. Are you a resident of the Plan Area?**

Yes

**Q2. Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

**Q3. If you would like to, please provide any detailed comments below:**

I do not think the road infrastructure is sufficient for the proposed development. Adding upwards of 28,000 residents to this area with only McKee and Whatcom Rd as arterial routes is ridiculous. Sumas Mtn Rd is not a realistic alternative route to redirect traffic from highway #1 and to say it's a feeder route is absurd. Another main arterial route must be established for this plan. As a person who has owned and lived in this neighbourhood for 16 years, I love the fact that we are isolated from the main part of town, that's what most people love about living up here; but I've seen the traffic massively increase on McKee in that time and we already don't have the road infrastructure to support the number of people up here now. I am concerned that this plan does not address the road infrastructure realistically. Also, much of the trail system that is spoken of in the plan and regarded highly as a feature of the McKee neighbourhood is on private land. The plan does not indicate that the city will purchase the land for the trails from the private landowners but rather leaves it up to the developer who will need to negotiate with the land owner at the time. That does nothing to secure the outdoor trails and parkland that is part of this neighbourhood. It doesn't make sense to highlight and build a plan upon the unique features of this area without actually securing the land first. Lastly, the McKee neighbourhood plan consists of development that is entirely on Sumas Mtn and wild animals come with the territory but the city is failing the animals by not including/speaking to bylaws for this area that will protect the animals and minimize negative human/animal interactions. For example, my subdivision is not considered an area that is provided with bear-proof garbage cans but we most certainly should have them and better bear awareness should be enforced by the city, especially with the proposed development. More bears and other wild animals will be losing their wild spaces to live in, and this plan does not recognize the fact that this entire McKee neighbourhood needs to better align with nature when it comes to garbage, residential expectations, etc. The McKee neighbourhood plan is an opportunity to ensure that the unique gift to live amongst nature in this neighbourhood comes with the expectation of those that live here must align with behaviours to ensure the land, trails and the animals in this area are also protected; the city needs to be the main voice of that expectation and this plan is where those expectations should be outlined, but nothing like this is included.



**Respondent No:** 123

**Login:** Registered

**Responded At:** May 24, 2022 09:38:34 am

**Last Seen:** May 24, 2022 15:31:33 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I utilize the trails on McKee Peak several times a week to run, hike and mountain bike. This access to green space and recreation is one of the main reasons I choose to live in Abbotsford. I am disappointed to see the lack of plan for preserving the current trail network. I would like to see more of the current trails preserved throughout development. The greenspace and recreational opportunity on McKee Peak is extremely valuable to the mental and physical health of its users. Can the trails below the cliffs and along the caves (ambidextrous, autobahn, excellerator etc.) be maintained and monitored rather than decommissioned? Can a vision be developed that connects the McKee natural trail park to yet-to-be-developed trail systems north of Auguston (Long Way Home area) and eventually to the Sumas Mountain recreation area? Can the City work with the Crown, FVRD and Semá:th Nation to expand the boundaries of the Sumas Mountain Regional Park and develop trail systems that envelope all sides of Sumas Mountain, eventually connecting to Barrowtown and the dyke path.



**Respondent No:** 124

**Login:** Registered

**Responded At:** May 24, 2022 10:56:30 am

**Last Seen:** May 24, 2022 16:20:22 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I have grave concerns about the increase of population in this area with basically one access route being McKee Road. We live on Golf Course Drive and already feel very unsafe exiting and slowing to enter our community! With the curve on McKee on the hill approaching our gate from Auguston and this proposed McKee Village and the speed of the cars ascending that hill, there are many times when I have almost been hit. The road can look clear one moment, and a car approaches at great speed from down the hill and around the curve at the next. The proposal, as I understand it, is to make McKee even wider and increase the traffic passing our gate. The safety of our residents and those driving this road concerns me. It will become a freeway. Add to that the bikers and hikers trying to access Ledgeview Mt. for biking and hiking, and golfers trying to find parking near the golf course. My other concern is that I do not see any proposal for Fire Rescue Services to keep us protected. Hall 7 trucks cannot adequately service this proposed population growth. Perhaps I have missed the proposed new firehall on the plans? Thank you for considering my concerns.



**Respondent No:** 125

**Login:** Registered

**Responded At:** May 24, 2022 12:44:35 pm

**Last Seen:** May 24, 2022 18:41:30 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The trails on McKee and Ledgeview are so important to the community. It is important to residents to enjoy nature by walking or biking and it is a big draw for tourists to come to Ledgeview and spend their dollars here. The trails are important for the whole family! And for the future of families in Abbotsford!





**Respondent No:** 126

**Login:** Registered

**Responded At:** May 24, 2022 12:48:24 pm

**Last Seen:** May 24, 2022 18:47:02 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I utilize the trails on McKee Peak several times a week to run, hike and mountain bike. This access to green space and recreation is one of the main reasons I choose to live in Abbotsford. I am disappointed to see the lack of plan for preserving the current trail network. I would like to see more of the current trails preserved throughout development. The greenspace and recreational opportunity on McKee Peak is extremely valuable to the mental and physical health of its users. Can the trails below the cliffs and along the caves (ambidextrous, autobahn, excellerator etc.) be maintained and monitored rather than decommissioned? Can a vision be developed that connects the McKee natural trail park to yet-to-be-developed trail systems north of Auguston (Long Way Home area) and eventually to the Sumas Mountain recreation area? Can the City work with the Crown, FVRD and Semá:th Nation to expand the boundaries of the Sumas Mountain Regional Park and develop trail systems that envelope all sides of Sumas Mountain, eventually connecting to Barrowtown and the dyke path.



**Respondent No:** 127

**Login:** Registered

**Responded At:** May 24, 2022 13:00:10 pm

**Last Seen:** May 24, 2022 18:57:51 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Having access to natural forested areas are important for not only our environment but to the overall health and wellness of the trail users. With doctors being able to provide prescriptions for time in nature it is essential to maintain accessibility for people in the community and surrounding area.



**Respondent No:** 128

**Login:** Registered

**Responded At:** May 24, 2022 13:44:38 pm

**Last Seen:** May 24, 2022 19:32:04 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I hike there every day with my dog. I love walking in nature. It is a great stress release. I live on Winfield Drive so it's really close to my house. I think it would be a great mistake to take away the trails.



**Respondent No:** 129

**Login:** Registered

**Responded At:** May 24, 2022 14:11:28 pm

**Last Seen:** May 24, 2022 20:01:40 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Having a single-track trail system out our backdoor has had so many physical and mental benefits to our family, friends, and community. Having the option to go for a mountain trail run, meet a friend for a hike, take my kids exploring, get outside in the trees, sit and enjoy a Fraser Valley view while meditating has been what has kept us in this home for longer than we anticipated. Why can't the trails be kept near the cliffs and caves? Can the lookout points be saved? I understand that you want to make the trails accessible to everyone, but that is what the Discovery trail is for. These trails are for running, biking, hiking, putting the baby in a carrier and exploring the forest, taking your dog for a walk, etc. We get people from all over the Fraser Valley and Lower Mainland that come here to use these trails as they are one of a kind and so treasured. Please keep as many technical and single trails as possible. The trail running community and Mountain bike community will forever thank you.



**Respondent No:** 130

**Login:** Registered

**Responded At:** May 24, 2022 15:07:40 pm

**Last Seen:** May 24, 2022 20:58:41 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The McKee/Ledgeview trails were built by members of this community, because the community wants an open park space like this. The land slated for parks in this plan is all much too steep for young children. Ledgeview trails were so important during the Covid pandemic, when the City closed all of the parks. The kids had a place to go. Many communities have similar "large open trail networks" that are City parks: Kenna Cartwright in Kamloops, Whistler, Squamish, even Surrey has large open parks that are on useable land. I think the City should consider buying some of the land to keep as park space (yes, I realize this is a cost, and there are complications, but worth it). We have something special here, don't loose it.



**Respondent No:** 131

**Login:** Registered

**Responded At:** May 24, 2022 15:42:54 pm

**Last Seen:** May 24, 2022 21:41:45 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Please leave the trails as they are. We walk to and up ledgeview 4-5 times a week and the mountain is always full of Abbotsford residents being active. The health and well-being of current residents should be made a priority and developing this land would be doing the opposite.



**Respondent No:** 132

**Login:** Registered

**Responded At:** May 24, 2022 16:37:17 pm

**Last Seen:** May 24, 2022 22:21:51 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

While I don't live IN the area to be developed, I am only 2 minutes away. No, to this plan because: -too much density...too many townhouses/row houses -too much traffic...what is the plan to move all these vehicles? -not enough green space - parks are much too small -having "parks" is not the same as having wilderness area The pandemic (when parks were closed) showed us that Abbotsford is seriously lacking open green space/wilderness areas for people to escape to. -animals need large swaths of wilderness area -animals need wildlife corridors to connect habitat fragments -much of the land being saved for green space is too steep for hiking trails The city should be purchasing some of the land for a large open wilderness park (similar to Mt. Thom ...Promontory area in Chilliwack).



**Respondent No:** 133

**Login:** Registered

**Responded At:** May 24, 2022 19:35:42 pm

**Last Seen:** May 25, 2022 01:19:31 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I speak as a long time user of the McKee peak, long before Gravity hill was regraded and Whatcom road was pushed through to McKee. It's quite a shame to lose the network of trails the community has built up there. We all know that once the city gets their hands on the trails they'll no longer be anything as good as they have been. I'm also quite disappointed to find that the map is quite deceptive. To the average person that doesn't get out there at all it looks like a lot of greenspace is being preserved. It would seem that the most at risk area of development makes up only a small portion of the map.





**Respondent No:** 134

**Login:** Registered

**Responded At:** May 24, 2022 19:48:30 pm

**Last Seen:** May 29, 2022 03:03:11 am

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I've been riding the ledgeview trails for the past 5 years now (I'm 14) and I have made the absolute best memory's with my dad and friends. This place has been one of my only places to go and just have pure fun. I was shocked to even hear that there going to take the trails away because I know so many people that love the trails. Also think that in the past 10 years how much trail building that has been done, years of making trails and now all for nothing. My friend for the past year has made the sickest trail and started panicking when I told him about this. I'm up at the trails almost every single day I would be so sad to see them go. Thanks for hearing me out , [name removed]



**Respondent No:** 135

**Login:** Registered

**Responded At:** May 24, 2022 20:29:24 pm

**Last Seen:** May 25, 2022 02:27:41 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Please leave more green space for mountain bike trails!



**Respondent No:** 136

**Login:** Registered

**Responded At:** May 24, 2022 20:29:55 pm

**Last Seen:** May 25, 2022 02:18:24 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Please keep more open space for trails and nature.



**Respondent No:** 137

**Login:** Registered

**Responded At:** May 24, 2022 20:38:05 pm

**Last Seen:** May 25, 2022 02:28:10 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

We bought our house [address removed] in 2009 after being assured that future plans would not include the development of the area now slated as Neighbourhood Centre (area in blue, Map 3, p. 23 of Draft). Such a development would create excessive traffic and obscure the view for the entire row of houses.



**Respondent No:** 138

**Login:** Registered

**Responded At:** May 24, 2022 21:15:57 pm

**Last Seen:** May 29, 2022 13:58:59 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

It looks like a plan for mountain bikes from outside our area They have been transpiring for years and think they own property



**Respondent No:** 139

**Login:** Registered

**Responded At:** May 24, 2022 22:07:42 pm

**Last Seen:** May 25, 2022 03:21:37 am

Q1. Are you a resident of the Plan Area?

No

Q2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

Pick your preferred option

Not Really

Q3. If you would like to, please provide any detailed comments below:

Hi my name is [name removed] and I would like to tell you how the trails of Mckee have impacted my life and keep me stable. I am a husband, father of two and a man who is not perfect. I grew up in a stable, Mennonite home, but even still, have had a broken pathway. I worked hard growing up as a young male in the work force, managed to carve a path into a good career which I strive yet struggle to provide for my family. Life is so short and so stressful, and what I learnt, its not about money. I have a broken background with family struggle, addiction and heart break. My mom died as I was turning of age right when I was getting married. This greatly impacted my early days of a husband and I resorted to addiction to cover up my pain. As years progressed, and life, and work became more stressful, I needed an outlet. Through years of struggle, counseling and learning I trained myself to trust the Ledgeview trails as my calm outlet through mountain biking and trail running. Each week with busy work/ crazy clients/ kids in diapers (lack of sleep!!) I return to the trails to let my heart release its pain. I am a man of faith, and I will tell you, there have been many days I have stood and looked out on the Sumas valley view point, and cried out to my God I believe in, and ask "why". Why am I here, what is the meaning of life, why is life so hard? Is it money? Is it economy? Is it relationship? What's the point? I stand there crying, and he speaks to me through the trees, through the wind off the cliff edge and sometimes through some glorious berms as I laugh with my two close friends. As I look back in my memory now, the south side of ledgeview is magical. There is so much history and I think as I dig my hand into the native soil, the original people would be proud. If we just once took a stand for us, for nature, for Abbotsford, they would be so proud. Please, allow my heart to continue to take root into the dark dirt of ledgeview, to give my kids the same opportunities that I have right now. Allow my broken, addicted heart to have counsel with the ledgeview trails. Its so important, it keeps me and family together. I bought a house specifically in East Abbotsford to be close with these trails. I bought in 2014 and used my carpentry skills to work on my home for the past 10 years. Renovating is a tough grind but we now have a house that we call home, that we love. I have submitted a couple permits for renovations, and am expected to add a third! I would like to stay here full time, but if the city changes the plan with the east abby trails, I would consider moving and not being a tax payer of Abbotsford. I agree with building for the future and city growth. But at the same time, I ask, what is the plan with providing the people with long term trail networks? How can we incorporate this with indigenous peoples and their land? Would Semá:th Nation people like to see people keeping using the land in laughter, joy and harmony as trails or over developed housing? If the only trails that are being saved on ledgeview west are near waterways, can the east side "Mixed Bag"/ "Noodle" trails be saved? Can a plan be created to incorporate the east slope of ledgeview into the protected land of Sumas (crown land) trails?



**Respondent No:** 140

**Login:** Registered

**Responded At:** May 25, 2022 10:23:09 am

**Last Seen:** May 25, 2022 16:14:04 pm

Q1. Are you a resident of the Plan Area?

Yes

Q2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

Pick your preferred option

Not Really

Q3. If you would like to, please provide any detailed comments below:

- Concerned groups want to be co-planners not just updated stakeholders (similar to what has happened in Chilliwack, Langford, Williams Lake, Cumberland, Whistler, and other areas). - An Advisory Committee should be struck with key stakeholders from trail user groups at the table who actually have influenced the plan. - Trails and natural forests are coveted assets in progressive communities and offer unique outdoor recreation opportunities for families including walking, running, hiking, riding and are becoming more and more valuable as municipalities erase more and more green space. - Trails enhance the liveability, attractiveness, and environmental sustainability of a neighbourhood, or region, and are attractive to residents and visitors. - Natural forests are less common than parks and other recreational facilities and offer a unique and green character for the region. - This network is established, well-used, and world class. These trails simply do not exist in many places and neighbourhoods built near trails become highly desirable the FVMBA and the ATRC have broad memberships that are invested in the trails. - These world class trails already exist and money does not have to be invested to create a network. The current plan is a rebuild of the network and not a preservation. - The current plan does not allow for enough guaranteed green space or preservation of existing trail networks. - The city is currently spending a fortune on parks, rinks, gyms, tracks, a golf course, and other amenities but almost nothing on natural green spaces and single track trails. - We can NEVER replace forests and natural green space. We get one shot at this and it's leaning towards development and the option of more future development.



**Respondent No:** 141

**Login:** Registered

**Responded At:** May 25, 2022 10:49:29 am

**Last Seen:** May 25, 2022 16:45:19 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Yes, completely!

Q3. **If you would like to, please provide any detailed comments below:**

This plan has significant potential to address a major gap of housing in Abbotsford's market. As the City densifies, there will be an increasing number of condo units replacing lower density townhomes/single family homes. My hope is that the majority of the units created in this plan will be townhomes, compact lots and 4-storey apartment units, which provide housing options for families which cannot be found easily elsewhere in Abbotsford.





**Respondent No:** 142

**Login:** Registered

**Responded At:** May 25, 2022 12:43:00 pm

**Last Seen:** May 25, 2022 18:41:43 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Not enough natural single track trail is being conserved for the population to use. What a loss to the community and the city.  
a



**Respondent No:** 143

**Login:** Registered

**Responded At:** May 25, 2022 16:19:52 pm

**Last Seen:** May 25, 2022 22:18:02 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I live nearby and the trail network on McKee peak is something I use regularly. I am very hopeful that the city will have the foresight to maintain many of the existing trail networks or create new ones that are similar.



**Respondent No:** 144

**Login:** Registered

**Responded At:** May 25, 2022 17:29:06 pm

**Last Seen:** May 25, 2022 23:23:50 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I'm not a mountain biking jock so this really doesn't seem to be for me and people like me who actually live here. We need year round amenities for locals, not a seasonal village for visiting mountain bikers who build illegal trails and put our kids and dogs at risk with their reckless behaviour. Show us some real jobs we can walk to, not just a bunch of apres-bike drinking establishments paying minimum wage. What a crock!



**Respondent No:** 145

**Login:** Registered

**Responded At:** May 25, 2022 19:56:15 pm

**Last Seen:** May 26, 2022 01:55:11 am

Q1. Are you a resident of the Plan Area?

No

Q2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

Pick your preferred option

Somewhat

Q3. If you would like to, please provide any detailed comments below:

We need more density!



**Respondent No:** 146

**Login:** Registered

**Responded At:** May 25, 2022 22:08:39 pm

**Last Seen:** May 29, 2022 11:19:16 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The trails are used by many people, and the mountain is full of breathtaking scenery, and wildlife. It draws people from young too old, outside to appreciate nature, and be able to do something other than sit at home and watch tv. Cities without a lot of green space and trails (eg. Detroit) have high rates of suicide and crime. This mountain would be a beautiful escape in the middle of a city.



**Respondent No:** 147

**Login:** Registered

**Responded At:** May 26, 2022 10:05:50 am

**Last Seen:** May 26, 2022 16:05:03 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 148

**Login:** Registered

**Responded At:** May 26, 2022 10:11:57 am

**Last Seen:** May 26, 2022 16:08:36 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

more work needs to be done to protect downhill mountain biking and hiking trails. Some of the current residents on Applewood Drive have already closed trails that existed well before the houses were built. Future residents will likely do the same unless the trails are part of the plan. There is a need for mixed use trails (strollers and walkers) but also downhill biking trails.



**Respondent No:** 149

**Login:** Registered

**Responded At:** May 26, 2022 11:25:53 am

**Last Seen:** May 26, 2022 17:23:03 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

This just seems like more of the same, when so much has changed. When are we actually going to start building affordable housing? Not everyone gets to inherit a farm.





**Respondent No:** 150

**Login:** Registered

**Responded At:** May 26, 2022 16:09:10 pm

**Last Seen:** May 26, 2022 22:06:55 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

Just want to make sure the actual trail locations are shown on the plan and a deliberate part of the planning. Their existence, location and number are very important. To be installed by the developer, and not by Parks Division (hard to fund and get it done). Trail building should not be an after thought.



**Respondent No:** 151

**Login:** Registered

**Responded At:** May 26, 2022 21:39:00 pm

**Last Seen:** May 27, 2022 03:33:51 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Maintain or preserve a mix of singletrack trails for the thousands of users who ride, hike, walk on this incredible municipal asset. Preserving greenspace and forests will make this area attractive. Chilliwack, Hope, Squamish, Cumberland - progressive cities - have all preserved green recreation space that is not sports fields or playgrounds. The area is unique. Keep it that way by building in trails in the plan.



**Respondent No:** 152

**Login:** Registered

**Responded At:** May 26, 2022 22:10:44 pm

**Last Seen:** May 27, 2022 04:06:34 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I am a little sad to see that so much of the natural spaces here in Abbotsford are being developed. One of the reasons my wife and I live in the area is because we enjoy our close proximity to so many wonderful trails in the beautiful nature around us. It saddens me to see plans to urbanize an area that is so loved by many who currently live here.



**Respondent No:** 153

**Login:** Registered

**Responded At:** May 27, 2022 00:44:37 am

**Last Seen:** May 27, 2022 06:40:37 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Make Abbotsford city core more dense - so we can walk everywhere. Leave the mountain as a sanctuary to one of the last areas the wild animals can have to live and Abbotsford residents can enjoy. Also have you ever driven early in the morning from Auguston to Hwy 1?? We don't have the road structure to support the current level of population let alone the kind of growth this plan talks about! Don't put the Cart before the horse!!



**Respondent No:** 154

**Login:** Registered

**Responded At:** May 27, 2022 10:31:33 am

**Last Seen:** May 27, 2022 16:29:59 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Yes, completely!

Q3. **If you would like to, please provide any detailed comments below:**

We are excited for more affordable housing in Abbotsford!



**Respondent No:** 155

**Login:** Registered

**Responded At:** May 27, 2022 16:24:04 pm

**Last Seen:** May 27, 2022 22:22:05 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

The trail network on McKee park is of utmost importance to the surrounding community. These trails should be maintained regardless of planned expansion



**Respondent No:** 156

**Login:** Registered

**Responded At:** May 27, 2022 16:28:29 pm

**Last Seen:** May 27, 2022 22:27:32 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I frequently bike on the mountain and support local businesses. Would like to see some of the trails preserved.



**Respondent No:** 157

**Login:** Registered

**Responded At:** May 27, 2022 16:30:11 pm

**Last Seen:** May 27, 2022 22:22:22 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

Please preserve existing singletrack or create new singletrack to offset the lost community assets on McKee Peak. New trails should offer displaced trail users comparable and easily accessible outdoor recreation opportunities in natural greenspace. And establish a Trail Advisory Committee with key stakeholders from trail user groups who are consulted and at the table as the plan evolves. Chilliwack and other progressive cities already have this model.





**Respondent No:** 158

**Login:** Registered

**Responded At:** May 27, 2022 16:30:22 pm

**Last Seen:** May 27, 2022 22:28:11 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Please preserve the trails this is a crucial part of our beautiful community.



**Respondent No:** 159

**Login:** Registered

**Responded At:** May 27, 2022 16:32:33 pm

**Last Seen:** May 27, 2022 22:28:53 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

There is an enormous amount of significance relating to out door recreation in Abbotsford attached to this area. I grew up enjoying the mountain and it's trails, and now my kids are doing the same. Eagle mountain is already all taken over can this expansion really be sustained? Surely green spaces like this need to be preserved along with farmland.



**Respondent No:** 160

**Login:** Registered

**Responded At:** May 27, 2022 16:35:57 pm

**Last Seen:** May 27, 2022 22:35:25 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 161

**Login:** Registered

**Responded At:** May 27, 2022 16:37:22 pm

**Last Seen:** May 27, 2022 22:31:04 pm

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

As a user of the existing trail network inside the plan area I am greatly concerned that the natural single-track trail network will not be sufficiently replaced in another nearby area. Outdoor "nature" recreation is being taken away from our city and being replaced unnatural 3m wide paved pathways. Please consider protecting some of our existing natural space for recreational use.



**Respondent No:** 162

**Login:** Registered

**Responded At:** May 27, 2022 16:37:51 pm

**Last Seen:** May 27, 2022 22:31:07 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I'd like to see the multi-use trail network for mountain biking and hiking remain intact. Gravel trails are not conducive for Mtn biking and hiking. If the plan is to make this area similar to Whistler or Squamish, it would make sense to invest the time and effort consulting groups like the Fraser Valley Mountain Bike Association, and other associations from those jurisdictions like Whistler in Squamish. Not only does this support the local users but it also attracts other stakeholders and users from perhaps out of town. This makes the area more desirable. Existing trail Network I realize can't all remain as we have to work hand-in-hand with developers. It looks as though the city is wanting to promote a outdoor lifestyle. I think consulting all stakeholders, and experts in this field are important and the implementation of the development plan. The city of Abbotsford has an opportunity to make this area a world class destination. Data shows there over 55,000 Users of the trail network. It would be a shame if the planning process missed an opportunity here



**Respondent No:** 163

**Login:** Registered

**Responded At:** May 27, 2022 16:38:11 pm

**Last Seen:** May 27, 2022 22:37:36 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 164

**Login:** Registered

**Responded At:** May 27, 2022 16:42:34 pm

**Last Seen:** May 27, 2022 22:34:49 pm

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I understand that development needs and is going to happen. I am concerned that one of the main things that makes this area desirable outdoor recreation could possibly see negative changes. I hope that the spirit of what is there remains. Having the right people in place to consult with is very important. I hope that there will be trail users included in the planning of changes as they tend to understand what's needed.



**Respondent No:** 165

**Login:** Registered

**Responded At:** May 27, 2022 16:51:31 pm

**Last Seen:** May 27, 2022 22:47:06 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

My concern is for sensitive engagement and retention of as much as the existing trail system as possible for hikers and for the mountain bike community that maintains the trails and works so hard to make the trails friendly for all users. I say this understanding that some of the trails are on private land that is used with grudging assent by the owners, yet I would love to see the status quo maintained. I don't know another riding area with the easy access and high trail density that McKee Peak and Ledgeview have. The area is well-known by those outside the Abbotsford area, and loved by all, locals and others alike. Thank you





**Respondent No:** 166

**Login:** Registered

**Responded At:** May 27, 2022 16:53:56 pm

**Last Seen:** May 27, 2022 22:51:33 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I have been mountain biking in this area for over 20 years. It has brought me, my friends and family, together on many occasions. I hope the city of Abbotsford will maintain the single-track mountain bike trails in the area.



**Respondent No:** 167

**Login:** Registered

**Responded At:** May 27, 2022 16:54:30 pm

**Last Seen:** May 27, 2022 22:53:44 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 168

**Login:** Registered

**Responded At:** May 27, 2022 16:54:54 pm

**Last Seen:** May 27, 2022 22:53:24 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

I would like to see the trails for mountain biking and hiking preserved if possible or expand the trail network after construction.



**Respondent No:** 169

**Login:** Registered

**Responded At:** May 27, 2022 16:56:35 pm

**Last Seen:** May 27, 2022 22:46:06 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

My entire life I have been using the trail network for outdoor recreation. Working at a local bike shop the most common area people mention riding and hiking is the ledgeview trail network. I would request that the plan include steps to preserve as much of the existing trails as possible, and to replace those that will be lost with new trails. To help make this possible the city should adopt a similar system to Chilliwack's trail advisory committee so that all the diverse user groups can help create a sustainable outdoor space. This would also prevent anger towards the development by stakeholders since they would be kept involved and updated throughout the process.



**Respondent No:** 170

**Login:** Registered

**Responded At:** May 27, 2022 16:57:06 pm

**Last Seen:** May 27, 2022 22:49:59 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 171

**Login:** Registered

**Responded At:** May 27, 2022 16:57:55 pm

**Last Seen:** May 27, 2022 22:47:29 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Urban livability is highly dependent on recreational areas being located close to residents. Too many cities have failed to preserve outdoor recreation and park areas, leaving residents with nothing but developed land inside the city, and forcing them to drive elsewhere to recreate. This happened in the Willoughby area of Langley Township, and I have no wish to ever live there again. I teach architecture and planning at UFV, and am concerned that McKee Peak is going lose a recreational jewel in the name of a few extra units of housing. Set aside all the parkland you can - and even more. Future generations will thank you for it. Maple Ridge is going through this same process at Thornhill, and they seem destined to save all those trails.



**Respondent No:** 172

**Login:** Registered

**Responded At:** May 27, 2022 16:58:37 pm

**Last Seen:** May 27, 2022 22:42:24 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

While development of the area is inevitable and the plan looks to include outdoor recreation, my concern is the loss or reduction in use of the existing hiking and biking trails in the area. These trails are used extensively by many and used to improve one's physical and mental well-being. Living in East Abby it's one of the reasons we moved to this area and I believe why many are drawn to this area. Loss of use of this trail network would be felt by many and possibly lessen the interest in the area. Thanks for your consideration.



**Respondent No:** 173

**Login:** Registered

**Responded At:** May 27, 2022 17:00:54 pm

**Last Seen:** May 27, 2022 22:56:15 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I'm concerned about the removal of vegetation and soil (nature's sponge), to be replaced with roads and other hard surfaces adding to the water rushing down the mountain into the prairie. We don't need more flooding.





**Respondent No:** 174

**Login:** Registered

**Responded At:** May 27, 2022 17:05:19 pm

**Last Seen:** May 27, 2022 23:03:04 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Save the single track bike trails and area around them as park lands.



**Respondent No:** 175

**Login:** Registered

**Responded At:** May 27, 2022 17:08:47 pm

**Last Seen:** May 27, 2022 23:05:51 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

There are many users of the trail system who enjoy getting into the back country. As well a lot of wildlife to preserve, which would be lost going forward with these plans.



**Respondent No:** 176

**Login:** Registered

**Responded At:** May 27, 2022 17:13:13 pm

**Last Seen:** May 27, 2022 23:04:04 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

The trails at Ledgeview provide a great, close by, opportunity for outside exercise. All ages and abilities use the area. Outside exercise has proven to reduce the effects of mental health. We need more green space, not less.



**Respondent No:** 177

**Login:** Registered

**Responded At:** May 27, 2022 17:21:55 pm

**Last Seen:** May 27, 2022 23:07:05 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

We need to protect and advocate for a culture that balances the natural beauty, recreation and sustainable ways of living. I think it's time to really think different when it comes to cramming homes onto Sumas. There's an opportunity to let Abbotsford be a unique and natural gem in all of BC.



**Respondent No:** 178

**Login:** Registered

**Responded At:** May 27, 2022 17:24:20 pm

**Last Seen:** May 27, 2022 23:22:36 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 179

**Login:** Registered

**Responded At:** May 27, 2022 17:29:10 pm

**Last Seen:** May 27, 2022 23:28:38 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Yes, completely!

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 180

**Login:** Registered

**Responded At:** May 27, 2022 17:31:40 pm

**Last Seen:** May 27, 2022 23:31:11 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The trails need to be preserved.



**Respondent No:** 181

**Login:** Registered

**Responded At:** May 27, 2022 17:39:04 pm

**Last Seen:** May 27, 2022 23:37:40 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Please preserve the Mckee & Ledgeview trails, the abundant use by so many is vital & an imperative part of the community for so many of us





**Respondent No:** 182

**Login:** Registered

**Responded At:** May 27, 2022 17:40:16 pm

**Last Seen:** May 27, 2022 23:38:47 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

We need to keep the trails...they are important. Greenspace for parks is not the same as what trails can provide



**Respondent No:** 183

**Login:** Registered

**Responded At:** May 27, 2022 17:45:08 pm

**Last Seen:** May 27, 2022 23:38:50 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Please preserve existing single track or create new single track to offset lost community assets. New trails would need to offer comparable outdoor recreation opportunities. Establish a trail advisory committee with key stakeholders from trail user groups who are consulted and at the table as the plan evolves. Surrounding communities such as Chilliwack and other progressive cities already had this model.



**Respondent No:** 184

**Login:** Registered

**Responded At:** May 27, 2022 17:50:34 pm

**Last Seen:** May 27, 2022 23:46:52 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

Make sure that some of the existing mtb trails gets preserved and that there's enough greenspace left for new trails with easy access



**Respondent No:** 185

**Login:** Registered

**Responded At:** May 27, 2022 17:55:08 pm

**Last Seen:** May 27, 2022 23:54:27 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Preserve trail system please!



**Respondent No:** 186

**Login:** Registered

**Responded At:** May 27, 2022 17:56:27 pm

**Last Seen:** May 27, 2022 23:54:24 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Building may destroy the numerous trails that my children and I use regularly. There is also a bear hibernating on the mountain and we should not be impacting the bears habitat.



**Respondent No:** 187

**Login:** Registered

**Responded At:** May 27, 2022 17:59:14 pm

**Last Seen:** May 27, 2022 23:56:35 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Preserve existing singletrack or create new singletrack to offset the lost community assets on McKee Peak. New trails should offer displaced trail users comparable and easily accessible outdoor recreation opportunities in natural greenspace. Establish a Trail Advisory Committee with key stakeholders from trail user groups who are consulted and at the table as the plan evolves. Chilliwack and other progressive cities already have this model.



**Respondent No:** 188

**Login:** Registered

**Responded At:** May 27, 2022 18:07:16 pm

**Last Seen:** May 28, 2022 00:06:14 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 189

**Login:** Registered

**Responded At:** May 27, 2022 18:16:34 pm

**Last Seen:** May 28, 2022 00:12:40 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

The development at the top of McKee peak needs to be minimized so as to add actual value to the city. Currently it is an outdoor recreation paradise used by a very large number of people hiking, walking, mountain biking and more. Once you've allowed the development to remove most of the trail network Abbotsford will fall further into mediocrity. Hard to believe at this point, but the town will be a worse place to live by many. Being able to recreate at no cost in the direct vicinity of your home is paramount to satisfaction in living in any given location for most people. This means not having to drive everywhere to put it bluntly. Please reconsider the mediocre eyesore you are planning and preserve a much MUCH larger portion of the trail network.





**Respondent No:** 190

**Login:** Registered

**Responded At:** May 27, 2022 18:16:52 pm

**Last Seen:** May 28, 2022 00:15:30 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Keep the mountain bike trails at Ledgeview. They are a gem in the Fraser Valley. I drive 45 min each way to come and ride these amazing trails.



**Respondent No:** 191

**Login:** Registered

**Responded At:** May 27, 2022 18:22:40 pm

**Last Seen:** May 28, 2022 00:20:57 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I am concerned about losing the trail network that I use daily for hiking, biking, dog walking. I am genuinely heartbroken that so much of the development area is over our beloved trails and greenspace. My desires: Preserve existing singletrack or create new singletrack to offset the lost community assets on McKee Peak. New trails should offer displaced trail users comparable and easily accessible outdoor recreation opportunities in natural greenspace. Establish a Trail Advisory Committee with key stakeholders from trail user groups who are consulted and at the table as the plan evolves. Chilliwack and other progressive cities already have this model



**Respondent No:** 192

**Login:** Registered

**Responded At:** May 27, 2022 18:25:20 pm

**Last Seen:** May 28, 2022 00:24:48 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Preserve existing singletrack or create new singletrack to offset the lost community assets on McKee Peak. New trails should offer displaced trail users comparable and easily accessible outdoor recreation opportunities in natural greenspace.



**Respondent No:** 193

**Login:** Registered

**Responded At:** May 27, 2022 18:28:45 pm

**Last Seen:** May 28, 2022 00:22:49 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

This plan concerns me because it will cause a lot of strain on our already taxed school system as well as our recreation centres, roads and other infrastructure. It will take away a lot of our nature areas where we hike and bike. My children already attend schools that are bursting at the seams.



**Respondent No:** 194

**Login:** Registered

**Responded At:** May 27, 2022 18:31:37 pm

**Last Seen:** May 28, 2022 00:26:09 am

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

All about the mtb trails. Work with/follow FVMBA. More trails the better



**Respondent No:** 195

**Login:** Registered

**Responded At:** May 27, 2022 18:34:00 pm

**Last Seen:** May 28, 2022 00:33:21 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 196

**Login:** Registered

**Responded At:** May 27, 2022 18:36:39 pm

**Last Seen:** May 28, 2022 00:34:27 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Very little recreation options in Abbotsford. This plan removes the trails that many enjoy hiking and biking. Disappointed to see this world-class trail network go to the "manicured" network that the plan proposes



**Respondent No:** 197

**Login:** Registered

**Responded At:** May 27, 2022 18:39:15 pm

**Last Seen:** May 28, 2022 00:36:51 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

We moved from the area, but would be interested in moving back. We currently have friends still in the neighbourhood there. There is development in the area along with the potential to develop in other parts outside the trail network. Once this recreational space is developed, it will be lost forever. We need to build around it, not on it.





**Respondent No:** 198

**Login:** Registered

**Responded At:** May 27, 2022 18:42:31 pm

**Last Seen:** May 28, 2022 00:42:08 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 199

**Login:** Registered

**Responded At:** May 27, 2022 18:44:04 pm

**Last Seen:** May 28, 2022 00:43:16 am

Q1. **Are you a resident of the Plan Area?**

No

I'm Not Sure

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Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

---

Q3. **If you would like to, please provide any detailed comments below:**

Keep the riding area and hiking trails intact. We can't lose these trails.

---



**Respondent No:** 200

**Login:** Registered

**Responded At:** May 27, 2022 19:07:02 pm

**Last Seen:** May 28, 2022 01:00:15 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

Please preserve as many of the existing biking and hiking trails as possible, and replace those that need to be destroyed.



**Respondent No:** 201

**Login:** Registered

**Responded At:** May 27, 2022 19:12:18 pm

**Last Seen:** May 28, 2022 01:04:27 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

My family (from my 16 year old daughter-80 year old father) uses the mountain biking and hiking trails. Purchasing land to create a corridor for biking is infinitely better than creating small parks. Parks are great for very young children, but vigorous exercise for kids, teens, adults & seniors can only be promoted with extensive trail systems. Raise taxes to purchase connected parcels of land that preserve some of the existing trails. Forests are good for mental and physical health.



**Respondent No:** 202

**Login:** Registered

**Responded At:** May 27, 2022 19:16:31 pm

**Last Seen:** May 28, 2022 01:12:59 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Please preserve the Ledgeview single track mountain biking and hiking trails. These are important to the surrounding communities and are a big draw to the area



**Respondent No:** 203

**Login:** Registered

**Responded At:** May 27, 2022 19:37:46 pm

**Last Seen:** May 28, 2022 01:36:22 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

My family used the trail network for hiking and biking regularly. Please, please, please maintain the number and quality of trails!!!!



**Respondent No:** 204

**Login:** Registered

**Responded At:** May 27, 2022 19:49:18 pm

**Last Seen:** May 28, 2022 01:47:51 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

This area is a valued area for multiple different users. The city should buy it from the developers and let them build housing on less fragile, and less recreationally important land. So many people receive value from this area now - let's not irrevocably change it.



**Respondent No:** 205

**Login:** Registered

**Responded At:** May 27, 2022 20:07:33 pm

**Last Seen:** May 28, 2022 02:03:43 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

As a almost daily user of the trails at ledgeview, I am sad to see the development plans. I live in Auguston, specifically to be close to the trails and to enjoy what this area of nature has to offer me and my family. It is the primary reason we live here. I would like to see as much single track trail preserved as possible, or have comparable trails replace what is removed. The green space and nature is paramount for the enjoyment of the residence of the area. I would also like to see the city establish a Trail Advisory Committee with key stakeholders from trail user groups who are consulted and at the table as the plan evolves. Chilliwack and other progressive cities already have this model.





**Respondent No:** 206

**Login:** Registered

**Responded At:** May 27, 2022 20:17:17 pm

**Last Seen:** May 28, 2022 02:15:29 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I would like to keep some dedicated outdoor rec areas and trails for walking, hikers & bikers.



**Respondent No:** 207

**Login:** Registered

**Responded At:** May 27, 2022 20:24:00 pm

**Last Seen:** May 28, 2022 02:23:37 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 208

**Login:** Registered

**Responded At:** May 27, 2022 20:24:57 pm

**Last Seen:** May 28, 2022 02:24:37 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 209

**Login:** Registered

**Responded At:** May 27, 2022 20:26:48 pm

**Last Seen:** May 28, 2022 02:23:35 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I would like to see the preservation of existing singletrack bike/hike trails. New trails could be offered to replace any lost trails. Easily accessible outdoor recreation opportunities in natural greenspace. Establish a Trail Advisory Committee with key stakeholders from trail user groups who are consulted and at the table as the plan evolves. Chilliwack and other progressive cities already have this model.



**Respondent No:** 210

**Login:** Registered

**Responded At:** May 27, 2022 20:26:57 pm

**Last Seen:** May 28, 2022 02:26:22 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 211

**Login:** Registered

**Responded At:** May 27, 2022 20:29:12 pm

**Last Seen:** May 28, 2022 02:27:46 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 212

**Login:** Registered

**Responded At:** May 27, 2022 20:34:13 pm

**Last Seen:** May 28, 2022 02:32:34 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 213

**Login:** Registered

**Responded At:** May 27, 2022 20:36:29 pm

**Last Seen:** May 28, 2022 02:12:58 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Yes, completely!

Q3. **If you would like to, please provide any detailed comments below:**

I strongly believe the majority of trails in the area should be preserved. A trail committee should be established and consulted when developments are proposed to determine what trails can be lost to ensure a high quality network is preserved.





**Respondent No:** 214

**Login:** Registered

**Responded At:** May 27, 2022 20:51:58 pm

**Last Seen:** May 28, 2022 02:48:36 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

It seems like it will interfere a lot with the large number of community trails that currently exist in that area. It would be great to preserve as much of the outdoor recreation space we have and/or have a plan for new areas that these recreational trails can be offset to by buildings new ones.



**Respondent No:** 215

**Login:** Registered

**Responded At:** May 27, 2022 21:02:20 pm

**Last Seen:** May 28, 2022 02:49:41 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

If I owned the land I'd probably be motivated to develop it \$\$\$ BUT just not so much of it. Those trails are AMAZING and if they are lost it will be a huge loss for the community and for the bear families, owls, deer and other flora, fauna, fish, frogs and fowl living there. Whatever does get developed keep it close to the road and pipeline and preserve what is further up. OR Develop those mines - make that your residential hub, they are currently an eye sore and to develop that would be an enhancement.



**Respondent No:** 216

**Login:** Registered

**Responded At:** May 27, 2022 21:03:46 pm

**Last Seen:** May 28, 2022 02:52:40 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I understand many of the existing trails are on private land, and the public has little say when it comes to development proposals. We (mountain bikers) appreciate our voices heard in retaining as much singletrack as possible within the ledgeview trail network. Scenarios such as this play out in countless films and stories... there's an area of land which holds immense value to a group of people, be it: First Nations, tree huggers, ranch owners - or even hikers and bikers. The land in the stories are at risk of development and resource extraction. It's a David vs. Goliath type of tale. The corporate groups displacing animals and users from the land are rarely on the right side of history in these stories. Please consider this sentiment when finalizing plans for these new homes. There will always be land for new homes and development - but special places with such a high recreation quality are extremely limited, especially this close to town. We urge the developers to see the value and quality of the single track here, and hope they do their best to maintain what they are able during the development phases.



**Respondent No:** 217

**Login:** Registered

**Responded At:** May 27, 2022 21:04:56 pm

**Last Seen:** May 28, 2022 03:03:37 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I'm concerned for the future of the singletrack trails in the area that I ride sometimes daily. It's a massive part of my life and it worries me that it might be destroyed.



**Respondent No:** 218

**Login:** Registered

**Responded At:** May 27, 2022 21:05:33 pm

**Last Seen:** May 28, 2022 02:59:43 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

the trails are very important to the city. i appreciate people need to make money and have houses, but the trails provide so much to abby residents that it would be a great pity to loose them all. preservation of existing, or creation of new trails would be a lasting legacy for the leaders involved in the project. consultation with advocacy groups and stakeholders could hopefully achieve this thank you



**Respondent No:** 219

**Login:** Registered

**Responded At:** May 27, 2022 21:06:38 pm

**Last Seen:** May 28, 2022 02:58:25 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

My wife and I are avid users of the trails on McKee Peak. I think that the plan should preserve as much of the trails as possible. Incorporating this trails in an organic way into the developments will in the long term increase the value of the area, as more and more people seek outdoor recreation. This is an opportunity for the city to build its community around already existing infrastructure that is very unique and has a huge amount of users (both local and international), specifically the mountain bike trails.



**Respondent No:** 220

**Login:** Registered

**Responded At:** May 27, 2022 21:09:14 pm

**Last Seen:** May 28, 2022 02:58:35 am

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Yes, completely!

Q3. **If you would like to, please provide any detailed comments below:**

We are excited for more housing that will make house prices more affordable for our young people. I support the further development of the Mckee Area, as it would help young families like my own children. Development in this area is going to be crucial for young families and will help keep Abbotsford a place for families, jobs community. I'm shocked to hear that bicycle riders who have been free to trespass on the property for years without flack from the generous owners, are now feeling entitled. WOW!



**Respondent No:** 221

**Login:** Registered

**Responded At:** May 27, 2022 21:35:19 pm

**Last Seen:** May 28, 2022 03:33:27 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

We need to preserve trails and outdoor recreation space for the residents, their kids and dogs.





**Respondent No:** 222

**Login:** Registered

**Responded At:** May 27, 2022 21:47:06 pm

**Last Seen:** May 28, 2022 03:40:15 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Please don't destroy the great trails for bikers, hikers, dog walker, horse riders. I am mounting bike who lives in Maple Ridge. I've been riding ledge view trails for more than 15 years. It's very unique land scape and perfect soil for trails. Yes it's pretty rare place. People come and ride from all over including Vancouver, Washington states. It's a treasure of the City. Please respect it and do the right decision before it's too late. Thanks.



**Respondent No:** 223

**Login:** Registered

**Responded At:** May 27, 2022 21:54:55 pm

**Last Seen:** May 28, 2022 03:52:08 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

Really want to preserve the hiking and biking trails of the area - one of the main reasons we bought a house in Abbotsford to start our family is the awesome network of trails nearby off McKee.



**Respondent No:** 224

**Login:** Registered

**Responded At:** May 27, 2022 21:59:08 pm

**Last Seen:** May 28, 2022 03:57:49 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I don't believe enough natural spaces and enough of the trail network is left undisturbed.



**Respondent No:** 225

**Login:** Registered

**Responded At:** May 27, 2022 22:17:29 pm

**Last Seen:** May 28, 2022 04:14:09 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Yes, completely!

Q3. **If you would like to, please provide any detailed comments below:**

Our young people need affordable housing in order to remain in Abbotsford! We have a huge need of developing new affordable housing. Not large multi generational mansions but independent single dwelling homes!



**Respondent No:** 226

**Login:** Registered

**Responded At:** May 27, 2022 22:24:45 pm

**Last Seen:** May 28, 2022 04:24:02 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Please preserve and/or replace as many of the trails as possible. They're one of our favourite things about the city!



**Respondent No:** 227

**Login:** Registered

**Responded At:** May 27, 2022 22:28:29 pm

**Last Seen:** May 28, 2022 04:24:28 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Would like to see bike trails and green space given space to coexist. or at least come to an agreement as to the trails being destroyed and come up with new ways to keep the recreational mountain available to outdoors enthusiasts.



**Respondent No:** 228

**Login:** Registered

**Responded At:** May 27, 2022 23:31:01 pm

**Last Seen:** May 28, 2022 05:25:50 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

We need easily accessible outdoor physical activities as well as wildlife habitats getting reduced.



**Respondent No:** 229

**Login:** Registered

**Responded At:** May 27, 2022 23:58:10 pm

**Last Seen:** May 28, 2022 05:52:18 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I am an avid hiker and mountain biker. This is the only immersive nature experience I can access without using a car, and unique in Abbotsford. All maps of the draft plan indicate there will barely be any nature left. This will change my experience of living in this town, and will make me consider moving to another area.





**Respondent No:** 230

**Login:** Registered

**Responded At:** May 28, 2022 01:38:44 am

**Last Seen:** May 28, 2022 07:37:48 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

taking away significant green space with valuable community trails and activity.



**Respondent No:** 231

**Login:** Registered

**Responded At:** May 28, 2022 05:07:57 am

**Last Seen:** May 28, 2022 10:55:51 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

You are destroying an outdoor natural area where thousands of people go to escape their stress in life.



**Respondent No:** 232

**Login:** Registered

**Responded At:** May 28, 2022 07:43:11 am

**Last Seen:** May 28, 2022 13:39:38 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

We need to preserve the trails. They are unique to our area. Our city could attract bikers / hikers and bring economic strength to our community like Squamish. Instead we rip will destroy an area we will never get back. There is so much wasted land not being used for farming or development that should be considered and this should be turned into a park. For many generations!



**Respondent No:** 233

**Login:** Registered

**Responded At:** May 28, 2022 07:50:02 am

**Last Seen:** May 28, 2022 13:46:09 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I would like to see existing downhill mountain biking singletrack trails be preserved and plans to provide replacement downhill mountain biking singletrack for any singletrack that is lost due to the development.



**Respondent No:** 234

**Login:** Registered

**Responded At:** May 28, 2022 08:18:42 am

**Last Seen:** May 28, 2022 14:14:58 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I understand the need for develop and in general I agree with the plan however, I would like to see more of the bike and hiking trails preserved. That area is a real natural treasure, and I think The City of Abbotsford should do more to preserve the natural beauty.



**Respondent No:** 235

**Login:** Registered

**Responded At:** May 28, 2022 08:34:13 am

**Last Seen:** May 28, 2022 14:31:52 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Yes, completely!

Q3. **If you would like to, please provide any detailed comments below:**

A necessary physical and mental health well-being! Not to mention keeping the green space! Put your fancy homes elsewhere please and thank you!!!



**Respondent No:** 236

**Login:** Registered

**Responded At:** May 28, 2022 08:58:52 am

**Last Seen:** May 28, 2022 14:49:31 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

We are very fortunate to have this forested area, where you get to enjoy the sounds of nature, and if you're lucky enough you might see a wood pecker or even an owl. My family loves hiking and biking in this area because it's so close to home. It is my go to place to for my weekend hikes. And I get rewarded with the scenery of the city and the valley. There is no other such places any where else in the Fraser Valley what we have here on McKee/Ledgeview. I hope that the city will try and work with the user types and groups to maintain as much of the forested areas as possible. We are very fortunate to have this forested area and the ecosystem that it supports. And it would be a disaster if it was lost to urbanization.



**Respondent No:** 237

**Login:** Registered

**Responded At:** May 28, 2022 08:59:08 am

**Last Seen:** May 28, 2022 14:44:30 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

We need to protect and preserve our multi use urban green spaces. I understand the demand to develop and build more residential areas. There has to be other areas considered for this project where the land base isn't currently being used for anything. The health and lifestyle advantages that McKee hill brings to users far outweigh the alternatives. I have been using this trail system for over 20 years and the volume in use has substantially increased. Please reconsider this area to be developed in the best interest of our local citizens.





**Respondent No:** 238

**Login:** Registered

**Responded At:** May 28, 2022 09:10:54 am

**Last Seen:** May 28, 2022 15:09:39 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Please reserve some of the existing trails, or make new trails. I use these hiking trails at least 3 times every week.



**Respondent No:** 239

**Login:** Registered

**Responded At:** May 28, 2022 10:08:46 am

**Last Seen:** May 28, 2022 16:04:03 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The preservation or redevelopment of the trail system needs to be a higher priority. Once it is gone, it is gone forever. Abbotsford needs to prioritize recreational opportunities. We come from another community to ride these trails. While there we shop and go for coffee. This all brings dollars to Abbotsford community. The plan seems short sighted.



**Respondent No:** 240

**Login:** Registered

**Responded At:** May 28, 2022 10:10:25 am

**Last Seen:** May 28, 2022 15:58:23 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

Love to see growth, finding the balance is the secret. Protect the bike and hiking trails across from Ledgeview Golf Course. What a great opportunity to design and protect from future generations and use. Where else in Abbotsford do people drive to a non-sanctioned park? The city needs to be proactive and protect that land use, yes there is private land, but you are smart enough to find a way. Bring people to some of the best hiking and biking in the Fraser Valley... they then ride down the street to future coffee shots. (Side note - I am not a biker). You have the opportunity to build something special. We moved to Abbotsford 17 years ago from North Vancouver, please show us you have the vision to make great decisions...just not the easy ones. Sincerely [name removed]



**Respondent No:** 241

**Login:** Registered

**Responded At:** May 28, 2022 10:10:53 am

**Last Seen:** May 28, 2022 16:07:31 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I use the mountain 4x if not more every week! Please dont take away our beautiful trails



**Respondent No:** 242

**Login:** Registered

**Responded At:** May 28, 2022 10:42:29 am

**Last Seen:** May 28, 2022 16:36:58 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Please preserve natural park space and mountain bike trails/hiking trails of all difficulty levels in the Mckee peak area. These contribute greatly to the Physical and mental health of many residents even beyond Abbotsford and are an indirect source of tourism business for the area.



**Respondent No:** 243

**Login:** Registered

**Responded At:** May 28, 2022 11:14:56 am

**Last Seen:** May 28, 2022 17:03:44 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

not enough put aside for the trails already there for years. With all the factors driving this and the restrictions, environmental, cultural, reparium, and developer maximizing profit, I fear the trails, that have been there for over 30 years, will loose out. With no infrastructure and especially no medical resource, is trying to attract that many new residents a good idea at all? Maybe a smaller development would be more appropriate?



**Respondent No:** 244

**Login:** Registered

**Responded At:** May 28, 2022 12:09:47 pm

**Last Seen:** May 28, 2022 16:43:03 pm

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I notice that for residential housing, the plan has goals of both affordable housing and also higher density, which, taken together, typically means units closer together and also higher in height in order to minimize cost. I see that multiplex, row and townhouses up to three stories will be allowed, but that apartment buildings won't be. Does the plan not allow for any larger/more dense apartment or condo-type buildings with elevators? There are segments of the population who either a) can only afford to rent, especially as house prices climb and a large down payment is challenging to accumulate, and b) want to downsize, but don't want to, or can't, navigate stairs. Have these segments of the population been considered in this plan? I can see the younger generations being drawn to the lifestyle of this area; however, no apartment-style rental housing would mean that they would most likely be unable to live here (unless they found a basement suite, and as these are unplanned for, they usually come with problems). The same goes for retirees and the elderly who may desire the quiet and views, but want a smaller-square-footage, less-expensive, "turnkey" condo that they can leave and not worry about. I'm guessing that the proposed restriction to heights of three stories is for esthetics, but am thinking that there may well be an opportunity here, with all the elevations involved, to add some apartments/condos in order to reduce cost, without compromising this. A few apt/condo buildings (ie. 4-6 stories or so) that fit in harmoniously with the landscape would reduce price and promote both financial and mobility-related accessibility, allowing more segments of the population to live here.



**Respondent No:** 245

**Login:** Registered

**Responded At:** May 28, 2022 12:37:02 pm

**Last Seen:** May 28, 2022 18:29:41 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

For me, priority should be placed on preserving existing trails.





**Respondent No:** 246

**Login:** Registered

**Responded At:** May 28, 2022 13:14:25 pm

**Last Seen:** May 28, 2022 19:07:56 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I live just outside the plan area. After the slides in the area during the atmospheric rivers, I am concerned more homes and families in higher risk areas. In addition to creating more concrete and less natural areas to absorb runoff to the areas below. As well, pushing more wildlife out of its natural habitat and ruining the visual appeal of the natural hillside. I think the area to a large degree should be left as is rather than just building homes where most of the population won't be able to afford. Abbotsford needs more parks - having moved from Langley several years ago, I miss the variety of walking areas in natural areas. Especially in east Abbotsford.



**Respondent No:** 247

**Login:** Registered

**Responded At:** May 28, 2022 13:40:43 pm

**Last Seen:** May 28, 2022 19:38:57 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I hope nature and sustainability are prioritized for our future



**Respondent No:** 248

**Login:** Registered

**Responded At:** May 28, 2022 13:44:47 pm

**Last Seen:** May 30, 2022 13:28:48 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 249

**Login:** Registered

**Responded At:** May 28, 2022 13:47:49 pm

**Last Seen:** May 28, 2022 19:39:51 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

**Q3. If you would like to, please provide any detailed comments below:**

Hi Blake & Mitch, Thank you so much for the great presentation and dialogue on May 18 at the McKee Neighbourhood Plan - Stage 3 Draft Plan Review Landowner Meeting. We hope that the rest of your meetings with stakeholders went well! The Kenny group is supportive of the McKee Neighbourhood Plan and is grateful for all the hard work by yourselves and our other partners at the City of Abbotsford. Since the May 18 Landowner Meeting, our group has had the opportunity to hold "debrief" sessions with our partners at Wedler Engineering, Morningstar Homes and the Voth group. While the consensus at all our debrief sessions was supportive of the McKee Neighbourhood Plan, the Kenny group has a few concerns which we encourage the City of Abbotsford to revisit prior to the completion of Stage 4 - Final McKee Neighbourhood Plan.

1. Based on substantial supporting evidence provided by our partners at Wedler Engineering, the "Fixed Access Points" on the Road Network, and parts of the Road Network itself, still do not work. While this is an improvement over previous iterations, we suggest changing terminology to "Potential Access Points" or "Possible Access Points" or allowing "Access Points" to be adjusted within a "Box" to provide enough flexibility so that our engineers can make the roads work. Additionally, the Road Network currently depicted on Kenny lands on McKee Road [PID removed] encroaches upon environmentally sensitive areas and renders this property completely undevelopable. Please expect evidence in support of this request to be delivered by Glen Darychuk of Wedler Engineering.
2. Given the Kenny group's long timeline for the development of our lands depicted in Service Phase G and Service Phase H, we believe that the proposed Phasing Plan does not work and will unnecessarily impede and delay the development of lands held by our neighbours Morningstar Homes, the Voth group, the Boffo group and our own neighbouring lands in Service Phase I. We suggest allowing the development of surrounding lands prior to development of Kenny lands held in Service Phase G and Service Phase H. Please expect evidence in support of this request to be delivered by Glen Darychuk of Wedler Engineering.
3. The school site currently depicted within Service Phase H requires further discussion between the City of Abbotsford, the Abbotsford School Board, Morningstar Homes, the Voth group and the Kenny group. Given the collaborative approach taken to date, we believe that achieving consensus on a school site is possible. However, given that at present there is no clearly defined process for securing the school site currently depicted on Kenny lands within Service Phase H, we must officially object to the placement of the school site on Kenny lands and formally request that the school site be removed from lands under our ownership and/or control.
4. We remain opposed to blanket limitations preventing the construction of four-story condo buildings within Urban 2 designated lands. As we understand it, your primary rationale for this blanket limitation is that four-story condo buildings would obstruct views or negatively impact the aesthetics of the McKee Peak community. We would encourage you to do further, substantive, research on this including a visit to Garrison Crossing in Chilliwack/Sardis to see how seamlessly four-story condo buildings can be integrated with three-story townhouses and row homes. Additionally, we have come up with a growing list of "positives" for allowing the construction of four-story condo buildings, including:
  - Allows a wider range of household incomes and demographics to have access to homes and outdoor lifestyle on McKee Peak.
  - To achieve minimum required housing density, nearly all housing currently designated on the McKee Neighbourhood Plan will have three levels within each housing unit. This means there will be two sets of stairs, which is impractical for many mobility impaired citizens and senior citizens. The sensible integration of single level housing units, within four-story condo buildings equipped with elevators, is the only practical way to make the McKee Peak Neighbourhood accessible to all mobility impaired citizens and senior citizens, while maintaining minimum required housing density.
  - The lack of four-story condo buildings within housing currently designated on the McKee Peak Neighbourhood Plan places unnecessary economic barriers on many households who may otherwise wish to live within the McKee Peak Neighbourhood but lack the means to do so under this plan. The sensible integration of four-story condo buildings into the McKee Peak Neighbourhood Plan will allow a wider range of household incomes to have access to home ownership on McKee Peak. Additionally, four-story condo buildings provide far greater potential for rental accommodation for households where home ownership is not an option.
  - Potential to have professional daycare facility in ground floor commercial space. The need for this is particularly acute in the neighbourhood surrounding the school site.
  - Potential for other neighbourhood amenities such as a convenience store, postal outlet or pharmacy.We appreciate your consideration with respect to the aforementioned concerns and we look forward to discussing this further with you shortly. If there is anything I can do to help, or any further information I can provide, please do not hesitate to ask. Kind Regards, [personal information removed]

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**Respondent No:** 250

**Login:** Registered

**Responded At:** May 28, 2022 13:56:37 pm

**Last Seen:** May 28, 2022 19:56:00 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 251

**Login:** Registered

**Responded At:** May 28, 2022 14:16:36 pm

**Last Seen:** May 28, 2022 20:14:27 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

Please work with all stakeholders to maintain as much trail access as possible for mountain biking. Ledgeview is a gem, and people travel from all around for the trails.



**Respondent No:** 252

**Login:** Registered

**Responded At:** May 28, 2022 14:23:36 pm

**Last Seen:** May 28, 2022 20:20:03 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The liveability of this place matters. The more Sumas mountain is developed, the less liveable it becomes. As a cornerstone to the community, removing the natural spaces to make way for more homes, is a travesty. Those homes need to be built in already developed areas. There is absolutely no reason to continue expanding into the trail networks and natural areas of Sumas mountain. Densification is key here, not sprawl into natural areas..





**Respondent No:** 253

**Login:** Registered

**Responded At:** May 28, 2022 14:46:31 pm

**Last Seen:** May 28, 2022 20:45:24 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I would like to keep all the mountain bike trails and hiking trails in tact. They are used by thousands of people a year. There is nothing else like it in Abbotsford.



**Respondent No:** 254

**Login:** Registered

**Responded At:** May 28, 2022 15:06:03 pm

**Last Seen:** May 28, 2022 17:15:15 pm

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I live in Abbotsford because of the trails. I have met people who moved to Abbotsford because of the trail network. The availability of the singletrack trail network is a critical issue for me and my family. Every time that I'm on the trails I see LOTS of other people from varied backgrounds enjoying them in their own way. Hikers, Trail Runners, Mountain Bikers, Seniors, Families, Kids exploring the forest, couples on a date, Daycare excursions, etc. are all some of the people or groups that I see in the forest. World Class Network I don't think the city of Abbotsford understands what it has. The McKee singletrack trail network is world class. It has the qualities of the iconic North Vancouver North Shore network. In fact, I've met trail users who came to Abbotsford because of its proximity to the North Shore. Community Built Remember that the trail network was built by the community. You're proposing to tear down something that was built by the community--by volunteers who work on it out of love (I am in that group as well). The equivalent dollar value required to build something like this is immense. Don't give them up Tourism Feature of Abbotsford Every visitor that we have to our home gets a tour of McKee. They are always amazed by its features--trees, streams, cliffs, rock formations, singletrack trails, technical terrain, views, ABBOTSFORD IS GIVING THIS UP WITH THE DEVELOPMENT. Other communities in BC have embraced trail networks as a feature of their community. Please join them. Physical and Mental Health Exercise is not limited to gyms and fields. Abbotsford spends millions on building and maintaining the Rec Centers. I believe the trail network provides a very healthy outlet for people like me who aren't "gym people". A forest provides a "get-away". Many people in our culture (and community) are overwhelmed by the pressure of technology. The trails are my release for my physical and mental health. I would NOT be where I am today without them. I understand the development will happen, but the trails provide FAR GREATER BENEFIT than what I have seen you propose. Please preserve the singtrack trails. [name removed]



**Respondent No:** 255

**Login:** Registered

**Responded At:** May 28, 2022 15:17:02 pm

**Last Seen:** May 28, 2022 21:15:39 pm

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Leave the mountain as is, many people and families use it daily.



**Respondent No:** 256

**Login:** Registered

**Responded At:** May 28, 2022 15:31:00 pm

**Last Seen:** May 28, 2022 21:16:50 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I am a regular user of McKee Peak (Ledgeview) single track trails for both mountain biking and hiking. It's been a prime location for getting in some outdoor time around hectic family life schedules. One of the main reasons my wife and I chose to live in East Abbotsford is the proximity to McKee Peak trails. We absolutely love the fact that we can get on our bikes and ride up the hill to enter the trails at various starting points, do some laps, and head home all in one hour. An amazing privilege to have. My wife and I are not asking things to stay as they are, as we understand development and investments, but we are hoping the plans will keep a handful of single track trails we have built up there or at least have areas where single track trails can be made and maintained amongst the houses. Another thing I'd like to add is to thank the owners of the land we have been making trails on for years. We have thoroughly enjoyed McKee Peak area knowing it is private land and the owners have allowed us to enjoy it in it's current state. Please take mine and the many others requests to keep some single track trails into consideration.



**Respondent No:** 257

**Login:** Registered

**Responded At:** May 28, 2022 15:31:10 pm

**Last Seen:** May 28, 2022 21:26:52 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The ledgeview mountain biking / hiking trails are by far the most valuable piece of nature land Abbotsford has to offer. I would argue the next best place is all the way in North vancouver. Destroying these trail systems will not only greatly decrease my personal enjoyment of Abbotsford but it will affect the youth who use these trails for enjoyment. Without healthy and fun things to do within biking distance the kids will turn to drugs and therefore have a significant impact on the livelihood of Abbotsford as a whole.



**Respondent No:** 258

**Login:** Registered

**Responded At:** May 28, 2022 15:34:05 pm

**Last Seen:** May 28, 2022 21:21:52 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I highly disagree with the draft McKee Neighbourhood plan. If passed and completed, it would completely destroy the trails for which we moved here for. My family relies on these trails for mountain biking, hiking, and walking our dog, and maintaining our mental health. The only reason we moved here was for these trails. Abbotsford does not have enough natural, treed green spaces and not nearly enough singletrack mountain bike trails. If the Ledgeview area is developed this fully, where are new trails going to be created? Good singletrack mountain bike trails take a lot of man power, time and effort to build. Who is going to build and finance new trails? The FVMBA does a fantastic job at trail building, but they do not have the resources to build a network of new trails to replace the massive network that will be lost. I'm rather sickened by the fact that this plan was already supposed to consider keeping as many trails as possible, and now it seems to plan to demolish them all. We are proud residents of Abbotsford. We have loved living here. I have enjoyed teaching in the Abbotsford school district. If this McKee Neighborhood plan is approved, we will seriously consider moving from Abbotsford completely.



**Respondent No:** 259

**Login:** Registered

**Responded At:** May 28, 2022 15:37:44 pm

**Last Seen:** May 28, 2022 21:27:34 pm

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 260

**Login:** Registered

**Responded At:** May 28, 2022 15:38:31 pm

**Last Seen:** May 28, 2022 21:36:39 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Single track trails need to be preserved or a similar space given to develop new trails. Ledgeview is used by so many people and enhances quality of life for people who use the trails!!





**Respondent No:** 261

**Login:** Registered

**Responded At:** May 28, 2022 15:57:54 pm

**Last Seen:** May 28, 2022 21:52:24 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I would like to see a major component of the plan be preserving existing singletrack trails. I enjoy recreating in this area and have for decades along with many other residents and visitors. When I visit Mckee Peak I spend money at local business as do others helping to create jobs and stimulate the economy. Also, preserving these singletrack trails will make this an even more desirable place to purchase a new home as these new residents can utilize these trails as well and do it right from their front door. Thank you for your time and consideration!



**Respondent No:** 262

**Login:** Registered

**Responded At:** May 28, 2022 16:10:28 pm

**Last Seen:** May 28, 2022 21:58:47 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

The draft plan, with respect to the integration of national class mountain biking, trail running, and hiking trails, is a plan of incompatible wishes. The scale of development is inconsistent with the rhetoric (for instance, p. 10 of the draft document) that states 'The City's cherished trails and natural areas are protected for generations to come.' Since we believe this statement, and others like it in the document, is true, there must be a much more aggressive integration of the Ledgeview Trail system than is currently a part of the draft plan. Abbotsford is no longer a backwater municipality. In Ledgeview and the other natural environments around Abbotsford, we (the residents of Abbotsford) have something precious, which can be developed to feature Abbotsford as an urban environment that has world-class, natural amenities for mountain bikers, trail runners, and hikers. Let's maximize what mother nature has given us for the good of our community. An example is Cumberland and the world-class mountain biking trails that draw people from around the world. Although Ledgeview is privately owned property has there been any initiative through foundations or Government to make a bid to purchase Ledgeview to become a Provincial or National Park? That is one initiative I would get behind. Baring that, the draft proposal needs to go back to the drawing table to integrate this outstanding network of trails for generations to come.



**Respondent No:** 263

**Login:** Registered

**Responded At:** May 28, 2022 16:25:01 pm

**Last Seen:** May 28, 2022 22:06:39 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

There needs to be more work done. More planning. More analyzing. This project appears to value money over quality of life of its residents. No one is buying the idea that the trails will be left and will be enjoyed by many in a similar way that they currently are. The value of small mountain forests within cities is only going to increase in the next 20-40 years when the project will be removing most of it. If Abbotsford is going to be a thriving area to live then outdoor recreation needs to be a higher priority. Once the forest is gone, there is no going back. Once the bears, the birds, the porcupines are gone, there is nothing we can do.



**Respondent No:** 264

**Login:** Registered

**Responded At:** May 28, 2022 16:45:15 pm

**Last Seen:** May 28, 2022 22:44:38 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 265

**Login:** Registered

**Responded At:** May 28, 2022 16:50:02 pm

**Last Seen:** May 28, 2022 22:49:01 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I mountain bike there and would love the trails to stay!



**Respondent No:** 266

**Login:** Registered

**Responded At:** May 28, 2022 17:27:25 pm

**Last Seen:** May 28, 2022 23:25:05 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Keeping more area for trails, allowing for multiple uses, hiking, mountain biking- one of the biggest reasons I bought in this location



**Respondent No:** 267

**Login:** Registered

**Responded At:** May 28, 2022 18:06:14 pm

**Last Seen:** May 29, 2022 00:01:04 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I grew up hiking, mountain biking, and exploring all over Ledgeview since I was a child (I grew up in Abbotsford). Hearing the announcement of this development proposal devastated me. To think of having Ledgeview developed would mean taking away that opportunity of adventure and exploration of nature from thousands of kids and adults like myself. The world is already running out of local escapes to plunge into nature. Don't take away a priceless jewel like Ledgeview PLEASE.



**Respondent No:** 268

**Login:** Registered

**Responded At:** May 28, 2022 18:46:03 pm

**Last Seen:** May 29, 2022 00:32:06 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I think so much development will spoil the outdoorsy mountain area. The plan has too much density, and takes over large swathes of the mountain. We have also seen firsthand what the extreme weather event last November did to many of the slopes and ravines around here. There was an enormous amount of damage, some of which is still not repaired. (Clayburn creek path). Is it going to be like Eagle Mountain? It is a terrible eyesore. The mountain is being scalped of all vegetation. Houses are crowded together with no privacy. Even if they plant new trees, it will never replace those that have been taken away. Another eyesore is the development on the corner of Straiton and Sumas Mountain road. Boxy and "modern" it doesn't fit into the mountain theme at all. I would absolutely like to see provision for houses of worship in the plan. There seems to be no allowance at all. It is almost impossible to locate an piece of property now to locate a church on. They are a very important part of a healthy community!





**Respondent No:** 269

**Login:** Registered

**Responded At:** May 28, 2022 19:36:11 pm

**Last Seen:** May 29, 2022 01:31:18 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I would like council to consider the following points: Preserve natural spaces: clear with care Cautiously clear land for development. Please don't allow clear cutting vast sections that won't be developed for decades until then. Preserve natural forest for people, wildlife, birds, wildflowers, etc. to coexist. Preserve more to prevent landslides. Why try to build a townhouse complex on "sort of" unstable geotechnical areas? This is the time for you to say no: let's preserve a less fragmented green area here. Clearly, by viewing the Tourism Abbotsford photo feed and promotional sales materials for housing, Abbotsford wants to be seen as valuing nature and the outdoor lifestyle. Compensate for developed area by allocating more land for trail use We understand that McKee Neighbourhood will be developed, but here is our ask: how will you replace the kilometres of trail we are giving up? What other forested area can you allocate as a natural recreation area? Like Cumbland has done with their community forest, and Chilliwack is looking to do with Little Mountain, identify another area that can be allocated for trail development. Invest in the growing popularity of outdoor fitness rather than more costly indoor infrastructure. For example: Little Mountain Nature Park (Chilliwack) Langford mountain biking and hiking trails Prioritize retaining world-class single-track trails Single-track trails are currently being used by a diverse cross-section of the population in Abbotsford: seniors, families, hikers, runners, and bikers. These world-class single-track trails are a major tourism asset, and extremely popular among residents. There are numerous other wide trails elsewhere in the city, such as Mill Lake Park, Willband Creek, the dykes, and the Discovery Trail. Let's retain the uniqueness of the trails found here. Continue to work closely with the First Nations to advance their voices in the community. I heard at the stakeholder session that they want more of a presence, yet want to keep cultural sites private. I think there is a way to work toward sharing their culture in more ways than in architectural nods. I don't mean by revealing cultural sites, but perhaps they would be interested in sharing more of their culture through interpretive panels or something like that in the area.



**Respondent No:** 270

**Login:** Registered

**Responded At:** May 28, 2022 20:27:44 pm

**Last Seen:** May 29, 2022 02:08:01 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

We have enjoyed so many hikes up Ledgeview. It's such a shame to develop this park like land, so many family's enjoy being in nature so close to home. If at all possible please hear us on this one. It so important to so many people including children and young adults to have a place to hike and mountain bike, especially since we all came through lockdowns. Physical and mental health should be a priority to consider since so many of us had so many things taken away from us recently! Thank you!



**Respondent No:** 271

**Login:** Registered

**Responded At:** May 28, 2022 21:05:58 pm

**Last Seen:** May 29, 2022 02:56:29 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The trail system at Ledgeview is very important to people who live in Abbotsford and who come to visit. The loss of the single track trails for hikers, mountain bikers and runners will be incredibly sad. This is a great opportunity for Abbotsford to show how much it values natural areas and trail systems that are unique. These trail systems should have a higher priority when considering new subdivisions and new neighborhoods.



**Respondent No:** 272

**Login:** Registered

**Responded At:** May 28, 2022 21:09:58 pm

**Last Seen:** May 29, 2022 03:09:14 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Concerned about the removal of trails used by the multitude of people



**Respondent No:** 273

**Login:** Registered

**Responded At:** May 28, 2022 21:14:58 pm

**Last Seen:** May 29, 2022 03:14:43 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 274

**Login:** Registered

**Responded At:** May 28, 2022 21:17:18 pm

**Last Seen:** May 29, 2022 03:15:39 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

The single-track trails in the ledgeview area should be preserved! Many different users frequent them and there is alot of wildlife there. These trails and the area should be protected



**Respondent No:** 275

**Login:** Registered

**Responded At:** May 28, 2022 21:19:42 pm

**Last Seen:** May 29, 2022 03:17:49 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

We live in east Abbotsford and enjoy this network of trails at least 3 days per week . We bring our kids here and are hoping they can grow up enjoying all of the spots we take them to now . This is one of the greatest draws Abbotsford has to offer . Also , our infrastructure, schools , hospital and roads can't handle anymore resident increases . Please think twice before ruining our city .



**Respondent No:** 276

**Login:** Registered

**Responded At:** May 28, 2022 21:20:29 pm

**Last Seen:** May 29, 2022 03:14:37 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I would like to see more of the ledgeview trail network stay. I moved to the area to be closer to these trails and ride or hike them at least 4 days a week.





**Respondent No:** 277

**Login:** Registered

**Responded At:** May 28, 2022 22:10:40 pm

**Last Seen:** May 29, 2022 03:59:38 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Densify the core. There are plenty of vacant lots in town that can be developed into skyscrapers. Leave as much nature alone as possible. We can't get it back. The city should propose to buy the private land and keep it as recreational use and trade for some land in the city center.



**Respondent No:** 278

**Login:** Registered

**Responded At:** May 28, 2022 22:24:11 pm

**Last Seen:** May 29, 2022 04:20:10 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I recognize the need for expanding housing but feel the trail corridors are far too narrow and this will detract from the beauty of the area. We don't need more over priced housing in Abbotsford. We need affordable homes in small clusters so that the wildness of the Mountain can remain intact. I walk in this area frequently and see so many fellow Abbotsford citizens out enjoying this space. It would be so short-sighted to decimate the Stanley Park of Abbotsford.



**Respondent No:** 279

**Login:** Registered

**Responded At:** May 28, 2022 22:27:08 pm

**Last Seen:** May 29, 2022 04:19:13 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

We are so lucky to have these trails, and it would be a shame to loose them. It is what brought us to the area and we use the trails almost daily 12 months of the year. We have traveled all over the country and have never seen such a unique trail system so close to the city. All we see is growth everywhere in Abbotsford, the area is already heavily congested with traffic. It would be a huge loss to the community and surrounding areas if the trails were not preserved.



**Respondent No:** 280

**Login:** Registered

**Responded At:** May 28, 2022 22:33:12 pm

**Last Seen:** May 29, 2022 04:32:47 am

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 281

**Login:** Registered

**Responded At:** May 28, 2022 22:42:26 pm

**Last Seen:** May 29, 2022 04:40:19 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

We hike these trails every weekend. Stop ruining Abbotsford. Clean up the homeless camps and other areas before lining your pockets with more development.



**Respondent No:** 282

**Login:** Registered

**Responded At:** May 28, 2022 22:47:50 pm

**Last Seen:** May 29, 2022 04:41:24 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I'm concerned about the population density in the proposed plan. I am also an avid trail user so it's important to me that the existing singletrack is preserved or create new singletrack to offset any lost trails on McKee Peak.



**Respondent No:** 283

**Login:** Registered

**Responded At:** May 28, 2022 22:53:49 pm

**Last Seen:** May 29, 2022 04:49:58 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

This area is so important to so many people. This is an area where younger people can develop a love and understanding for the outdoors destroying this would be like destroying a part of abbotsford and a part of the people that use this area



**Respondent No:** 284

**Login:** Registered

**Responded At:** May 28, 2022 23:00:40 pm

**Last Seen:** May 29, 2022 04:56:46 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

There is so much development in biodiversity hot spots. The city should make conserving habitats a priority. There is other space to develop, like on top of Seven Oaks mall, downtown Abbotsford where the old tile shop is. Other possibilities should be explored, where there is concrete already and not trees and important habitat.





**Respondent No:** 285

**Login:** Registered

**Responded At:** May 28, 2022 23:15:11 pm

**Last Seen:** May 29, 2022 05:13:58 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Please preserve ledgeview mtn bike trails, we need an advisory committee to properly plan



**Respondent No:** 286

**Login:** Registered

**Responded At:** May 29, 2022 00:43:56 am

**Last Seen:** May 29, 2022 06:40:42 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

As a user of the trails, I am very sad to see most of the trails being decommissioned, especially the south facing portion, as well as the huge overlap of wildlife corridors and trails. This trail network is such a beautiful area in abbotsford, and it is sad to see most of it being developed with barely any trails being left for bikers, runners, and wildlife.



**Respondent No:** 287

**Login:** Registered

**Responded At:** May 29, 2022 03:32:58 am

**Last Seen:** May 29, 2022 09:31:09 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The forested areas and trails are essential to what makes abbotsford, find somewhere else to build



**Respondent No:** 288

**Login:** Registered

**Responded At:** May 29, 2022 07:55:42 am

**Last Seen:** May 29, 2022 13:51:18 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I support some development as long as a decent size portion of the trail network is preserved or offset with new trail networks in the Ledgeview vicinity or Sumas Mountain areas. These trails are renowned and have been ridden for decades from users across the region and the city should recognize this.



**Respondent No:** 289

**Login:** Registered

**Responded At:** May 29, 2022 07:58:52 am

**Last Seen:** May 29, 2022 13:58:02 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Preserve hiking and biking trails



**Respondent No:** 290

**Login:** Registered

**Responded At:** May 29, 2022 08:06:26 am

**Last Seen:** May 29, 2022 14:05:35 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I would like to keep a lot of the trails on McKee as a member of the outdoor community.



**Respondent No:** 291

**Login:** Registered

**Responded At:** May 29, 2022 08:35:06 am

**Last Seen:** May 29, 2022 14:28:14 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I believe your vision and direction heavily undervalue the green space and trails in and around McKee Peak. These trails are used by people from all ages and backgrounds. With proper guidance and preservation, this area would serve as a community hub and an attraction for our of town visitors. I've already seen ample marketing from Abbotsford tourism promotion sectors espousing the beauty of the McKee peak trail area.



**Respondent No:** 292

**Login:** Registered

**Responded At:** May 29, 2022 09:09:35 am

**Last Seen:** May 29, 2022 15:07:58 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

We need to preserve the hiking trails and forested areas! Not only for the wildlife, but for our kids, and for the next generations to come. Beads are already roaming all over the houses up there, and they will have no where to go if we develop that area. Plus having those trails and forested areas for our next generation is so vital.





**Respondent No:** 293

**Login:** Registered

**Responded At:** May 29, 2022 09:09:40 am

**Last Seen:** May 29, 2022 15:06:40 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Although I understand that landowners want to capitalize on the investment they hold, the community will be losing the most important and well used outdoor recreational spaces we have. The trails at McKee peak range from beginner to advanced. I'm afraid that if the city provides space for new or replacement trails, they'll be significantly easier.



**Respondent No:** 294

**Login:** Registered

**Responded At:** May 29, 2022 09:46:05 am

**Last Seen:** May 29, 2022 15:42:04 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Sumas is home to tens of kilometers of some of the best mountain bike, hiking and running trails in the valley. Additionally there are multiple ewually well known rock faces for climbing. Getting rid of these trails and the rock faces around them would significantly hurt the tourism and recreation in the area.



**Respondent No:** 295

**Login:** Registered

**Responded At:** May 29, 2022 09:48:34 am

**Last Seen:** May 29, 2022 15:44:26 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I strongly hope that the development of this McKee Peek includes the preservation of as much green space and single track biking/running/hiking trails used by so many. The plan speaks to parks at key locations, but I hope that it extends to connecting the mountain with local users and the beautiful landscape that it is. Collaboration with key user groups to preserve key trails as much as possible would be welcome.



**Respondent No:** 296

**Login:** Registered

**Responded At:** May 29, 2022 09:50:35 am

**Last Seen:** May 29, 2022 15:49:52 pm

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 297

**Login:** Registered

**Responded At:** May 29, 2022 09:50:54 am

**Last Seen:** May 29, 2022 15:46:37 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I mountain bike at ledge view and would appreciate keeping as much of the current single track as possible for that area. Over 50,000 people a year come to ride there, using shops, gas's stations and restaurants in the local area at the same time. It has had thousands of volunteer hours put into the creation and maintenance of trails that are good for riders, runners and hikers of all ages. Especially with Covid having well established large our door spaces in east reach is incredibly important for people to exercise and have a break away from the busy streets for their mental health.



**Respondent No:** 298

**Login:** Registered

**Responded At:** May 29, 2022 09:55:21 am

**Last Seen:** May 29, 2022 15:50:53 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Our family moved into this area because of the green space and trails. I walk or bike the Ledgeview trails 5 to 6 days a week. I wish they could remain dominant over residential development, especially higher density development like in the plans. My hope is the trails will be made a priority in whatever way that can happen! Creating new ones to replace those that are repurposed, working around the existing trails as much as possible, etc. I am willing to do whatever I can to assist in this happening because this is my home and I would be devastated if I could no longer hike and bike in the Ledgeview trails. Thank you for your time. Best regards, [personal information removed]



**Respondent No:** 299

**Login:** Registered

**Responded At:** May 29, 2022 10:00:12 am

**Last Seen:** May 29, 2022 15:58:30 pm

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Do NOT pave the trails. It will ruin part of the natural environment as well as disturb the animals and plants that call that area home. Humans should do better for the environment by leaving it alone!! Let it be as God intended it to be -trails!!!



**Respondent No:** 300

**Login:** Registered

**Responded At:** May 29, 2022 10:12:42 am

**Last Seen:** May 29, 2022 15:48:19 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

This plan appears to leave minimal recreation and green spaces. Lack of natural or unaltered landscapes contribute to environmental issues by fragmenting habitats and negatively impacting the ability of the land to absorb precipitation. Removing a multi-use trail and recreational area in a high density development is extremely short-sighted.





**Respondent No:** 301

**Login:** Registered

**Responded At:** May 29, 2022 10:14:12 am

**Last Seen:** May 29, 2022 16:13:13 pm

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 302

**Login:** Registered

**Responded At:** May 29, 2022 10:17:59 am

**Last Seen:** May 29, 2022 16:15:00 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Please Preserve the trails and establish a trail advisory committee to be consulted before moving forward.



**Respondent No:** 303

**Login:** Registered

**Responded At:** May 29, 2022 10:35:20 am

**Last Seen:** May 29, 2022 16:34:03 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The trail is a sacred part of abbotsford and provides a space for residents to share the land for walks and other exercise. It's home to many animals as well. We NEED to protect this land and the trail.



**Respondent No:** 304

**Login:** Registered

**Responded At:** May 29, 2022 11:02:59 am

**Last Seen:** May 28, 2022 18:04:34 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Yes, completely!

Q3. **If you would like to, please provide any detailed comments below:**

We are considering a move within the Plan Area



**Respondent No:** 305

**Login:** Registered

**Responded At:** May 29, 2022 11:17:07 am

**Last Seen:** May 28, 2022 03:14:37 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Please don't take away the advanced bike jump trails. This is my favorite place in the world, but I know society values making money for land developers more than it does providing a place for people to have recreation. Please keep some high speed gap jump trails.



**Respondent No:** 306

**Login:** Registered

**Responded At:** May 29, 2022 11:20:23 am

**Last Seen:** May 29, 2022 17:13:34 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I like the "mountain village" concept. I just don't like the idea of developing the natural area at all or adding 20-30,000 people on these small roads. Already enough Yaounde getting off the mountain in the morning. Also want to ensure the bike trail/hiking system is preserved. More trails would be needed to accommodate all those new people, to prevent overcrowding and overuse. Those trails are a local gem.



**Respondent No:** 307

**Login:** Registered

**Responded At:** May 29, 2022 11:31:50 am

**Last Seen:** May 29, 2022 17:28:49 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

While I realize this will happen regardless, I do appreciate that it seems a real effort is being made to work with existing trail users in the area. I mountain bike those trails 2-3 times per week and would be very sad and disappointed if we lost a lot of it. I realized a compromise will need to be made, but hopefully a good chunk of the existing trails will remain, and whatever is lost will be made up for with areas that could include new trails. Thanks for the dialogue!



**Respondent No:** 308

**Login:** Registered

**Responded At:** May 29, 2022 12:17:19 pm

**Last Seen:** May 29, 2022 18:06:37 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Most of my family uses the current trails for hiking/biking at least 4 times per week which has been essential to our physical and mental health. Making that area into a residential area would be very sad for us and detrimental to our health.





**Respondent No:** 309

**Login:** Registered

**Responded At:** May 29, 2022 12:35:02 pm

**Last Seen:** May 29, 2022 18:27:04 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

Let's not lose our amazing trail system. We should keep or create new trails to offset any losses on McKee Peak. New trails should offer displaced trail users comparable and easily accessible outdoor recreation opportunities in natural green space.



**Respondent No:** 310

**Login:** Registered

**Responded At:** May 29, 2022 12:35:58 pm

**Last Seen:** May 29, 2022 18:11:15 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Members of our family (of 6) use the trails in this area extensively--at least several times weekly; the natural beauty and amazing trails in the area (for both hiking and especially mountain biking) have been an invaluable contribution to our physical and mental health over the years, particularly realized in the past couple years! We understand that the area is private land and will be developed. However, the city can take measures that will make a HUGE difference to the mental, physical, and social wellbeing of its current and future inhabitants for generations, depending on how this area is approached! The preservation of singletrack, or if necessary, replacement of these with similar trails, will offer greenspace that is, in the long run, worth more than dollar values can indicate. Please cooperate with existing organizations such as the FVMBA who are doing amazing work in this area, and establish a proper advisory committee to oversee what happens here (and elsewhere in Abbotsford). PLEASE use long foresight into what kind of community we want to live in, as opposed to short-term economic gain, in deciding what happens here!!



**Respondent No:** 311

**Login:** Registered

**Responded At:** May 29, 2022 12:39:32 pm

**Last Seen:** May 29, 2022 18:36:56 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Maintain the same number of trails that exist. If trails are lost add more to offset the loss from the development.



**Respondent No:** 312

**Login:** Registered

**Responded At:** May 29, 2022 12:59:29 pm

**Last Seen:** May 29, 2022 18:56:57 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

The Ledgeview mountain bike trail network needs to be preserved. This is one of the first mountain bike trail systems in BC and is widely used and enjoyed by the community. The trails also attract visitors from all over BC. New housing can be developed while preserving the trail network. It will add value to the neighborhood.



**Respondent No:** 313

**Login:** Registered

**Responded At:** May 29, 2022 13:11:03 pm

**Last Seen:** May 29, 2022 19:07:45 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Preserve existing singletrack or create new singletrack to offset the lost community assets on McKee Peak. New trails should offer displaced trail users comparable and easily accessible outdoor recreation opportunities in natural greenspace. Establish a Trail Advisory Committee with key stakeholders from trail user groups who are consulted and at the table as the plan evolves. Chilliwack and other progressive cities already have this model. While we can likely all agree that we would love Ledgeview trails to stay the way they are for our children and theirs, that is, unfortunately, not a realistic goal. This is private land and we have to understand that development is going to happen. We need to collaborate with developers and the City in a way that results in us retaining as much of our beloved network as possible. This will have a massive impact on the future of trails in Abbotsford and the long-term livability of our community. This is a local gem that requires our stewardship or it will be gone forever.



**Respondent No:** 314

**Login:** Registered

**Responded At:** May 29, 2022 13:16:15 pm

**Last Seen:** May 29, 2022 19:15:46 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 315

**Login:** Registered

**Responded At:** May 29, 2022 14:07:32 pm

**Last Seen:** May 29, 2022 20:06:34 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

you cant be serious. keep the trails. dont start building there. as simple as that.



**Respondent No:** 316

**Login:** Registered

**Responded At:** May 29, 2022 14:22:41 pm

**Last Seen:** May 29, 2022 20:18:18 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I struggle because I understand that Abbotsford is growing but I believe we need to recognize this growth and build in ways that are sustainable and productive with space. To continue building mid-large sized homes to encroach on nature space where ecosystems and diversity are desperate to survive for our well being, we are doing detrimental harm to ourselves, children and beyond. Please consider the environment first so humanity has a chance and let's encourage living in this sought after city "in the country" by living small and consciously simpler. Thanks for your care for the more-than-human beings and our city's future.





**Respondent No:** 317

**Login:** Registered

**Responded At:** May 29, 2022 14:24:40 pm

**Last Seen:** May 16, 2022 23:50:53 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Preserve existing singletrack or create new singletrack to offset the lost community assets on McKee Peak. New trails should offer displaced trail users comparable and easily accessible outdoor recreation opportunities in natural greenspace. Establish a Trail Advisory Committee with key stakeholders from trail user groups who are consulted and at the table as the plan evolves. Chilliwack and other progressive cities already have this model.



**Respondent No:** 318

**Login:** Registered

**Responded At:** May 29, 2022 14:32:13 pm

**Last Seen:** May 29, 2022 20:24:58 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

The plan looks great. A couple asks: 1) I would like to see zoning and planning for church(es) in the plan. There are schools, parks, etc but no zoning for churches. 2) The hiking and biking trails are such a big part of this neighborhood. I see that they are included and would like to ask that this be made a priority.



**Respondent No:** 319

**Login:** Registered

**Responded At:** May 29, 2022 14:36:18 pm

**Last Seen:** May 29, 2022 20:33:55 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I am saddened by the amount of trails we will loose. There are few areas in Abbotsford for hiking and biking and this location offers that to many people. It's a part of my daily routine and has kept me mentally and physically fit through a lot of challenging times.



**Respondent No:** 320

**Login:** Registered

**Responded At:** May 29, 2022 14:54:20 pm

**Last Seen:** May 29, 2022 20:51:43 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

**Q3. If you would like to, please provide any detailed comments below:**

I am satisfied with the effort taken to investigate environmental and cultural factors. Clearly the theme of outdoor recreation has come up again and again, and the importance of a trail network has been recognized. As a current resident of the Highlands, I can attest to the fact that parking by visitors to the area is a concern. Simply allowing for street parking is not what the residents want to see. As Treetop and Westview are extended as roads, we should see less people wanting to park at the current trail access points. Users should, however, not be expected to park in a lot across from Ledgeview. They will want access higher up the mountain. Therefore, creating the proposed parks near the peak should be a priority, and should happen prior to the construction of new housing. I am excited about the village centre. There is a photo of Whistler village that has been used throughout the process. That is what I would love to see. The only problem I have with the centre is the lack of access for the existing residents actually living on the mountain. The proposed location is great for Auguston but anyone in the Highlands will still need to take their car and use Whatcom and McKee Roads. While I understand that the terrain does not allow for an entirely connected road network, I hope the proposed trail system allows for relatively easy pedestrian access to the village from the Highlands. By relatively easy, I mean exactly like Discovery Trail. That is, a trail that is not too steep and is paved. There is an opportunity to link the new Westview extension to the road network that I will call the Ledgeview Southside neighbourhood. That can be done with a paved path between houses, like what exists in many subdivisions. From that network, a paved path resembling Discovery Trail can lead to the centre of the village, without having to travel on McKee Rd. The evening casual cyclist with a road e-bike should be able to get a carton of milk or a 6-pack without getting dirty, sweaty, or getting in the way of the mountain bikers. I envision multiple dining options, similar to the Trading Post Eatery on Gladwin, that will allow us to go for dinner without going to Sumas Way and without getting in a car. Am I asking for too much wanting to live a Kitsilano lifestyle while enjoying this open space halfway between Abbotsford and Chilliwack? Now for my real concern. As a resident of Boxwood Court, in the area labeled In-stream Development, I am afraid that the shortcomings of the developer will simply be a learning experience that I have to suffer the consequences of while the new development is built according to new standards, all the while increasing the risk of further deterioration of the slope on my property due to redirected runoff. The plans for the area show a semi-permanent stream immediately behind my property. The Treetop extension and all associated services will run on the east side of that stream. The location of those services and road are OK with me. The disruption of the stream concerns me. When we first moved in, water would constantly drip off the slope. There was so much groundwater that a portion of my back yard was constantly soft, despite having a storm drain in the middle of the lawn. Around year 3, some heavy equipment did some work in the stream and the constant dripping stopped. There is still a lot of ground water and it is really evident when the weather gets below freezing. We have our annual glacier. The building lot was created by digging out the slope and a 10' cliff was created. The material is not solid rock but rather resembles gravel that is cemented by mud. Every year, the freeze/thaw cycles turn this into a cottage cheese of mud that eventually falls down. The two conditions that have been violated if this street were to be built today are identified in the council Report No. PDS 052-2022 as MSS14 Slope Reinforcement MSS17 Maintenance and Monitoring. These are both an issue due to the way in which MSS9 Undercutting was handled. Before any new construction starts above my property, I would like the city to look at reinforcing the slope behind my house, on my property. The required setback on the stream does not allow for a house to be built between my property and the stream but the construction of the Treetop extension will allow for equipment and materials to be brought onto my property to correct the mess left by the previous developer, whoever that is. They should also be required to correct this deficiency before being given a new development permit. Finally, I have a concern regarding the safety of any trail users that might walk along the west side of the stream above Boxwood. Currently, it is quite obvious that there is a demarcation between the private properties and the existing trail. Someone would have to quite intentionally leave the trail, go through brush and step over the remnants of an orange mesh fence to wander onto my lot. When the area is cleared, that will all be less obvious. We are not required to have fencing along our property lines. What the slope diagrams do not show is how steep slopes are in the 'In-stream Development' area. Anyone who might wander onto my property from the top, especially when the ground is wet, will find themselves sliding down the hill and finishing off with a 10' drop and a trip to the hospital. There needs to be some consideration for public safety when the area is made more accessible. Right now, the trail users are trespassing and do so at their own risk. When that area becomes a city street, the city needs to spot the danger.

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**Respondent No:** 321

**Login:** Registered

**Responded At:** May 29, 2022 15:03:37 pm

**Last Seen:** May 29, 2022 20:49:40 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Let's leave the whole proposed development area alone as a great recreational area. It steep and lots of varying terrain and will cause a lot of additional run off and eat up valued natural areas for hiking outdoor activity and wildlife.



**Respondent No:** 322

**Login:** Registered

**Responded At:** May 29, 2022 15:12:40 pm

**Last Seen:** May 29, 2022 21:11:49 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Need more park space



**Respondent No:** 323

**Login:** Registered

**Responded At:** May 29, 2022 15:17:13 pm

**Last Seen:** May 29, 2022 21:10:30 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

While this plan conserves some small portion of the extensive trail network it will wipe out tens of thousands of hours of hard work by trail builders. I recently started riding Ledgeview/McKee and it contains a style of trail that we don't otherwise see in this area. And when it comes down to it do we really need the ooze of humanity taking over another woodland area?





**Respondent No:** 324

**Login:** Registered

**Responded At:** May 29, 2022 15:22:06 pm

**Last Seen:** May 29, 2022 21:15:41 pm

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I think this would be a major disruption for the nature area and trails in the area. There is already a TON of disruption going on with the Trans-Mountain pipeline upgrade! I can't imagine how much this would cause! Please consider the amount of traffic this will create and the environmental damage that people will do to the area. I used to live in Kelowna where the huge developments only had a couple ways to get off the mountain. When the fires raged, many had very little time to evacuate and were stuck in traffic jams coming off the mountain. There is not enough infrastructure to support this development. Put the money and time into our local hospitals! 10 hour waits with only 2 doctors in emerge? Come on Abbotsford, start thinking better!



**Respondent No:** 325

**Login:** Registered

**Responded At:** May 29, 2022 15:32:28 pm

**Last Seen:** May 29, 2022 21:20:12 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Abbotsford has very little remaining wild areas- this is essentially the last one. Developing it will be a great loss to wildlife habitat and trail recreation despite measures taken to protect these things in the plan. It will also impact the climate. I would like to see more consultation of trail users in this plan- people come from all over Abbotsford to enjoy the forest there. I would also like to see more land protection and wildlife corridors in the plan- more housing density to leave room for more wildlife. I would like to be able to take my children to a forest in Abbotsford.



**Respondent No:** 326

**Login:** Registered

**Responded At:** May 29, 2022 15:32:56 pm

**Last Seen:** May 29, 2022 21:19:39 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Abbotsford lacks a draw for tourism. Keeping ledgeview and developing the trails for mtb/hiking with proper signage would promote tourism. I worry the trails will be gone and ledgeview will become another eyesore just like Eagle mountain has become. Why is there not more development happening downtown Abbotsford near the old courthouse. Why are you developing areas with wildlife and so much beautiful nature and greenery? This is going to ruin Abbotsford and take away another recreational opportunity. Very disappointed in what is Abbotsford is becoming.



**Respondent No:** 327

**Login:** Registered

**Responded At:** May 29, 2022 15:40:02 pm

**Last Seen:** May 29, 2022 21:37:09 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I worry it's developer minded, rather than sustaining a great trail system that is actually important to a lot of people, and really should be bought by the city and made into a park, and encouraged people to get outside and walk. Build parking lots to take the load off constant road parking that is frustrating for residents in the parking areas.



**Respondent No:** 328

**Login:** Registered

**Responded At:** May 29, 2022 15:45:34 pm

**Last Seen:** May 29, 2022 21:44:09 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

This area is one of the best for biking as well as hiking and communities need to make places like this a priority.



**Respondent No:** 329

**Login:** Registered

**Responded At:** May 29, 2022 15:49:28 pm

**Last Seen:** May 29, 2022 21:42:17 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Abbotsford needs to preserve the precious little forested space that we have left. I don't live in this area, but I am a frequent trail user here. I am a soon-to-be parent and one of my greatest concerns with living in Abbotsford is our distinct lack of wild, forested space. Although we are not an urban area, residents here seem to have even less access to forests and natural landscapes than even residents in places like Surrey or Vancouver. I really want my children to grow up in a place with forests and trails in the woods. The city needs to do more consultation with trail users in this area, and establish a Trail Advisory Committee with key stakeholders from trail user groups who are consulted and at the table as the plan evolves. Chilliwack and other progressive cities already have this model.



**Respondent No:** 330

**Login:** Registered

**Responded At:** May 29, 2022 15:59:53 pm

**Last Seen:** May 29, 2022 21:57:16 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Development of the mountains is necessary to achieve the City's population growth targets. However on the other hand if the public & city want park land and bike trails left then it's up to the City to pay the landowners fair market value to preserve that space. Has the City even considered that option? Nothing is for free in today's world.



**Respondent No:** 331

**Login:** Registered

**Responded At:** May 29, 2022 16:13:47 pm

**Last Seen:** May 29, 2022 21:58:03 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I know there needs to be development but at what cost is it to our health and wellness that our outdoor recreation areas are quickly been taking over by buildings. The trails in this area is what brings life to people and energizes them, makes them feel they have purpose. Not only are they good for the soul, its an area like no other city can brag about with the wilderness being so close to ur doorstep. Its such a well eco made trail system which is rare jewel to have, why would u want to disrupt such a beautiful thing. Please listen to the people when making your decisions and don't let the almighty dollar have the last say, let nature and those who respect it be heard.





**Respondent No:** 332

**Login:** Registered

**Responded At:** May 29, 2022 16:14:44 pm

**Last Seen:** May 29, 2022 22:14:05 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Please preserve the forest. It's a beautiful ecosystem that allows everyone to enjoy nature and the beauty of Abbotsford



**Respondent No:** 333

**Login:** Registered

**Responded At:** May 29, 2022 16:49:14 pm

**Last Seen:** May 29, 2022 22:47:55 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Do we want to have no forest left whatsoever? Do we want to enjoy what's left or just develop it all :(



**Respondent No:** 334

**Login:** Registered

**Responded At:** May 29, 2022 16:50:02 pm

**Last Seen:** May 29, 2022 22:32:00 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

There is already enough development happening between all the new condos developments and all the neighborhoods between Auguston down to prince Charles elementary. Traffic is getting worse by the year & all around more volume. Last thing we need is more development and building more homes where people have been coming up here for our trail networks and views for the last 30 years. It is a beautiful spot up here, we don't need to tear down more forest pushing bears etc into civilian life causing more issues for them and us. Less development the better, let's keep it that way!



**Respondent No:** 335

**Login:** Registered

**Responded At:** May 29, 2022 16:58:11 pm

**Last Seen:** May 29, 2022 22:56:51 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Please preserve the trails and establish a trail advisory committee to be part of the planning.



**Respondent No:** 336

**Login:** Registered

**Responded At:** May 29, 2022 17:14:36 pm

**Last Seen:** May 29, 2022 23:12:46 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

It is a well known trail network that reaches across Canada and is a tourist attraction, decimating the trails network for some houses seems like the wrong idea



**Respondent No:** 337

**Login:** Registered

**Responded At:** May 29, 2022 17:21:09 pm

**Last Seen:** May 29, 2022 23:18:06 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

recreational space is imperative for the health of a population. land development and deforestation of land that is highly used for exercise and outdoor use is unethical. please do not take away ledgeview trail system!



**Respondent No:** 338

**Login:** Registered

**Responded At:** May 29, 2022 17:46:23 pm

**Last Seen:** May 29, 2022 23:44:55 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I don't feel like mountain bikers using private land should expect to have their trails protected just because they have been using unauthorized trails for years. It creates an entitlement issue in other areas because they feel like if they put a trail somewhere they automatically get protection.



**Respondent No:** 339

**Login:** Registered

**Responded At:** May 29, 2022 18:00:20 pm

**Last Seen:** May 29, 2022 23:54:53 pm

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I live in the McMillan area and frequent McKee trails. It's the only undeveloped easily accessible mountain in town. It holds so much wildlife. We have pushed all the deer and bears to this area. I've seen Northern Saw-Whet owls, pacific shrew, alligator lizards, deers, bears and porcupine in the forests up there. I really don't want to see this over developed.





**Respondent No:** 340

**Login:** Registered

**Responded At:** May 29, 2022 18:09:58 pm

**Last Seen:** May 29, 2022 04:42:42 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

This area has been used for mountain biking and horse back trail riding so I want to see more land set aside for these types of recreational usages. Keep the natural environment please!! It is imperative for the health of our animals, plants and humans on our planet!



**Respondent No:** 341

**Login:** Registered

**Responded At:** May 29, 2022 18:12:26 pm

**Last Seen:** May 30, 2022 00:07:42 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I would like to see the preservation of single track trails. Outdoor recreation is vital to communities and we are losing our outdoor space at a very fast pace. I would advise to have a trail committee to allow input for further development.



**Respondent No:** 342

**Login:** Registered

**Responded At:** May 29, 2022 18:14:43 pm

**Last Seen:** May 29, 2022 23:44:41 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

The McKee trails, situated on the beautiful unceded and stolen land of the Sto Lo people, have transformed my life in the last 3 years. I spend time hiking the single track trails every week and have renewed my passion for outdoor activity as a result of this local treasure. I love being able to hike right in my own back yard. I am a 4 minute drive from all the incredible trails that have become a life saver and a weekly part of my fitness plan. I am a life long Abby resident, and what I have loved the most about this forest is that I can have a natural hiking experience on LOCAL trails that have natural variation; roots, water, rocks, dirt...NOT wide gravel pathways. The thought of losing this ability as developments expand is so heartbreaking. I am extremely disappointed. Hiking there this morning I had a lump in my throat and a pit in my stomach as I looped up Flintstone and around to Ranch Climb. Seeing all the trees tagged knowing how the area will be disrupted is so upsetting. Though I understand development will happen, we need to have city leadership willing to protect the trails and the viewpoints they allow thousands of us to access. During the last two years with all the restrictions we have had, I have seen such a significant increase in the number of hikers and bikers, adults and children, families out exploring their neighbourhood beauty. Please protect this for us so we can continue to enjoy this land.



**Respondent No:** 343

**Login:** Registered

**Responded At:** May 29, 2022 18:21:28 pm

**Last Seen:** May 30, 2022 00:19:30 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 344

**Login:** Registered

**Responded At:** May 29, 2022 18:21:46 pm

**Last Seen:** May 30, 2022 00:17:19 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Way too much development. Abbotsford needs single track trails and not crushed gravel or pavement sidewalks. Ledgeview/McKee is already very well used and can get quite busy. By developing such a large percentage of the area, you will put a much higher concentration of the few remaining areas. Add to that the increased population from new development, and the trails will be too busy to be enjoyed by anyone. We need to lessen the development before it is too late and irreversible.



**Respondent No:** 345

**Login:** Registered

**Responded At:** May 29, 2022 18:38:55 pm

**Last Seen:** May 30, 2022 00:35:16 am

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 346

**Login:** Registered

**Responded At:** May 29, 2022 18:51:06 pm

**Last Seen:** May 30, 2022 00:43:34 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

McKee park provides a wonderful outdoor space for hikers and mountain bikers to explore a short distance from where they live. It's been pivotal to my own mental health and I'm sure many others. To destroy this to build multi million dollar homes is irresponsible. We need to protect our green spaces rather than profit off them



**Respondent No:** 347

**Login:** Registered

**Responded At:** May 29, 2022 19:13:14 pm

**Last Seen:** May 30, 2022 01:11:08 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

i have loved those trails all my life i love that mountain if you go through with this plan it will anger an extremely large group of people





**Respondent No:** 348

**Login:** Registered

**Responded At:** May 29, 2022 19:32:48 pm

**Last Seen:** May 30, 2022 01:32:13 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Keep our mountain bike and hiking trails



**Respondent No:** 349

**Login:** Registered

**Responded At:** May 29, 2022 19:32:58 pm

**Last Seen:** May 30, 2022 01:32:05 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 350

**Login:** Registered

**Responded At:** May 29, 2022 19:39:57 pm

**Last Seen:** May 30, 2022 01:38:04 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Please consider preserving more of the trails! The current plan does not do enough to preserve green recreation space! The community relies on these trails for health and happiness!



**Respondent No:** 351

**Login:** Registered

**Responded At:** May 29, 2022 19:44:54 pm

**Last Seen:** May 30, 2022 01:43:34 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Preservation of more of the trail network. This area is unique and there are limited opportunities for hiking and biking trails around Abbotsford. Gravel bike paths don't count. Mountain biking as a sport is seeing huge growth



**Respondent No:** 352

**Login:** Registered

**Responded At:** May 29, 2022 19:48:44 pm

**Last Seen:** May 30, 2022 05:28:13 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

This vision eliminates or modifies all of the trails that I moved here to use. These trails are the primary reason we live in the Abbotsford area. In this area attracts many similar minded people. Unfortunately this vision plan does not take into account these end-users.



**Respondent No:** 353

**Login:** Registered

**Responded At:** May 29, 2022 20:01:46 pm

**Last Seen:** May 30, 2022 02:01:30 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 354

**Login:** Registered

**Responded At:** May 29, 2022 20:18:14 pm

**Last Seen:** May 19, 2022 19:00:48 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Preserve the trails, save nature, make it a destination



**Respondent No:** 355

**Login:** Registered

**Responded At:** May 29, 2022 20:36:01 pm

**Last Seen:** May 30, 2022 02:33:51 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Preserve the single track mountain bike trails, they are one of Abbotsford s best assets.





**Respondent No:** 356

**Login:** Registered

**Responded At:** May 29, 2022 20:40:35 pm

**Last Seen:** May 30, 2022 02:38:44 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Please preserve mountain bike trail network



**Respondent No:** 357

**Login:** Registered

**Responded At:** May 29, 2022 20:44:15 pm

**Last Seen:** May 30, 2022 02:43:05 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Keep the trails. 55k people use these trails. This is one of the amazing things that makes Abbotsford great! It would be a substantial loss.



**Respondent No:** 358

**Login:** Registered

**Responded At:** May 29, 2022 21:23:34 pm

**Last Seen:** May 30, 2022 02:30:59 am

Q1. Are you a resident of the Plan Area?

No

Q2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

Pick your preferred option

Somewhat

Q3. If you would like to, please provide any detailed comments below:

This area has provided myself and my family with countless hours of joy. As avid mountain bikers we have taken great pleasure in the privilege of being able to ride in such a local gem. It is wonderful to ride from home and be able to connect with nature, engage in a sport I love, and reap the benefits of being active. This area has also provided myself and my family the opportunity to give back and engage with the community through single track trail maintenance. I completed my Master's in Outdoor Education June 2021 and the mental and physical health benefits of such a place as Ledgeview/ McKee Peak are incredibly valuable. Trails that have not been over manicured or processed by the hands of humans have a very positive impact on the users. People need to feel a connection with "real" nature. It was impossible not to notice how the use of these trails skyrocketed during the lockdown of 2020 and the pandemic. It is very clear that many people are taking their health into their hands through engaging with the outdoors in what is one of the most accessible locations in Abbotsford. I recognize that development is imminent and that we have been fortunate to use these trails for as long as we have, but I believe it would be of great benefit to incorporate and maintain as much of the single track trails into the development as possible. Not only for the personal benefit and joy of the trail users, but it will continue to have a positive impact on the well-being of the community and our already overtaxed health care system. If we've noticed anything from the pandemic, it is that mental well-being has been negatively impacted in so many. By keeping as many of the single trails as possible, Abbotsford will thrive as a happy and healthy city for many of the people who live here.



**Respondent No:** 359

**Login:** Registered

**Responded At:** May 29, 2022 21:24:24 pm

**Last Seen:** May 30, 2022 03:16:14 am

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

The McKee Peak area, although private, has become a destination for outdoor activity in Abbotsford. Specifically, mountain biking. It's a place I can take my family and safely enjoy outdoor recreation. Unfortunately Abbotsford does not currently offer anything else like it. Please find a way to preserve existing single track mountain biking or invest in developing another area with the help of the FVMBA. Abbotsford has an opportunity to be like Squamish, one of the top mountain bike destinations places in the world. Please Preserve existing singletrack or create new singletrack to offset the lost community assets on McKee Peak. New trails should offer displaced trail users comparable and easily accessible outdoor recreation opportunities in natural greenspace. Establish a Trail Advisory Committee with key stakeholders from trail user groups who are consulted and at the table as the plan evolves. Chilliwack and other progressive cities already have this model. Thank you.



**Respondent No:** 360

**Login:** Registered

**Responded At:** May 29, 2022 21:37:57 pm

**Last Seen:** May 30, 2022 03:33:01 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I feel like the draft plan will overdevelop and destroy vital forest and green space in our already pillaged mountain areas



**Respondent No:** 361

**Login:** Registered

**Responded At:** May 29, 2022 21:46:07 pm

**Last Seen:** May 30, 2022 03:44:50 am

Q1. **Are you a resident of the Plan Area?** Yes

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Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

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Q3. **If you would like to, please provide any detailed comments below:**

Preserve existing singletrack or create new singletrack to offset the lost community assets on McKee Peak. New trails should offer displaced trail users comparable and easily accessible outdoor recreation opportunities in natural greenspace. Establish a Trail Advisory Committee with key stakeholders from trail user groups who are consulted and at the table as the plan evolves. Chilliwack and other progressive cities already have this model.

---



**Respondent No:** 362

**Login:** Registered

**Responded At:** May 29, 2022 21:49:12 pm

**Last Seen:** May 30, 2022 03:47:34 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The trails bring so many people to Abbotsford, it would be a shame to lose hiking and biking trails. There's so little green space and parks already.



**Respondent No:** 363

**Login:** Registered

**Responded At:** May 29, 2022 21:51:17 pm

**Last Seen:** May 30, 2022 03:42:26 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Please ensure the mountain bike trails of all skill levels remain.





**Respondent No:** 364

**Login:** Registered

**Responded At:** May 29, 2022 21:54:25 pm

**Last Seen:** May 30, 2022 03:53:38 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Keep the trails pls !!



**Respondent No:** 365

**Login:** Registered

**Responded At:** May 29, 2022 21:55:00 pm

**Last Seen:** May 30, 2022 03:43:11 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Please save the singletrack! And the wildflowers! MeKee Peak is a vital resource for our community because it is so easily accessible. It was a mistake for the city to not have purchased some of this property for parkland when it was affordable. I think the city owes a duty to the many trail users who have had such joy in the area. I think the City would be well-served to create an advisory group representing the various trail user groups and to take heed of their advice.



**Respondent No:** 366

**Login:** Registered

**Responded At:** May 29, 2022 21:58:02 pm

**Last Seen:** May 30, 2022 03:57:28 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 367

**Login:** Registered

**Responded At:** May 29, 2022 22:00:26 pm

**Last Seen:** May 30, 2022 03:59:09 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I would like to see more bike trails conserved and a priority placed on preserving the beautiful natural environment.



**Respondent No:** 368

**Login:** Registered

**Responded At:** May 29, 2022 22:05:13 pm

**Last Seen:** May 30, 2022 03:55:21 am

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I appreciate the City's collaborative approach to this plan, and I appreciate the attempt by the City to find a balance between the expansion of our community and the preservation of park space and trails. I am supportive of the plan for the most part, but I would like the City to go further to protect some of the best views on the mountain for public access. I'd also like to see the City work with the local trail users - Fraser Valley Mountain Bike Association and Abbotsford Trail Running Club, to ensure the best of the trails are protected and maintained, and that the right plan is in place for any new trails. Recognizing that even the best plan for this area will eliminate a significant portion of the incredible Ledgeview trail network, I ask the City to work together with trail users and the FVRD to expand the trail network and capacity at Sumas Mountain and look for opportunities to build new trail networks throughout our City.



**Respondent No:** 369

**Login:** Registered

**Responded At:** May 29, 2022 22:06:46 pm

**Last Seen:** May 30, 2022 04:00:14 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

This area needs to be left alone, it's a natural forested area that animals & the people in surrounding areas use daily. We all moved out of the city to this area so we could be close to nature and live where it's quiet and tranquil. It's not okay to tear down anything that's grown naturally and used & respected so much by the residents around it. Please leave our forest & mountain alone!



**Respondent No:** 370

**Login:** Registered

**Responded At:** May 29, 2022 22:17:11 pm

**Last Seen:** May 30, 2022 04:16:22 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 371

**Login:** Registered

**Responded At:** May 29, 2022 22:21:36 pm

**Last Seen:** May 30, 2022 04:09:03 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I'm not opposed to development in our area. I understand Abbotsford needs more housing. What I would love to see is to keep the outdoor feel of this area. We have lived in this area as a family for 15 yrs. The reason we have stayed is for the proximity to nature and trails. We have 3 boys that mountain bike almost everyday on Ledgeview trails. My husband and I run and hike the trails often. I know the trails are privately owned but what I would like to see is the city conserve areas so that mtn biking and hiking are still available. Keep fun areas for the kids to explore. Build new areas for my kids and their children in the future to enjoy. It is priceless to have a place for my teenage boys and their friends to be creative and be outside. They are off video games and out of trouble because they have those trails! Please, please look at what other cities have done to build the mtn bike and hiking areas. Consult closely with the experts and local clubs around here. Invest in the outdoors for our kids and their kids! Thank you





**Respondent No:** 372

**Login:** Registered

**Responded At:** May 29, 2022 22:28:53 pm

**Last Seen:** May 30, 2022 04:27:12 am

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Preserve much more of the incredible single track trails around McKee peak. They add so much to the quality of life in Abbotsford and there is no equivalent elsewhere. Developing the area to this extent lowers the overall value of the neighbourhood and cannot be undone.



**Respondent No:** 373

**Login:** Registered

**Responded At:** May 29, 2022 22:31:16 pm

**Last Seen:** May 30, 2022 04:27:16 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

This area is important to people throughout the Fraser Valley for biking and hiking, and I'm sure to wildlife in the area as well. Once places like these are paved over, we can never get them back. This area is part of what makes the Fraser Valley a great place to live, and once places like this have all disappeared everything unique about it will be gone.



**Respondent No:** 374

**Login:** Registered

**Responded At:** May 29, 2022 22:34:34 pm

**Last Seen:** May 30, 2022 04:31:27 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

We are concerned about bike trails and hiking trails being replaced by housing development. These trails are used by so many people including ourselves and my children. This is one of the only things that has helped a lot of people with their mental health, having access to these trails and nature. It even draws people from outside of our city. Please consider this with your planning



**Respondent No:** 375

**Login:** Registered

**Responded At:** May 29, 2022 22:39:55 pm

**Last Seen:** May 30, 2022 04:35:51 am

Q1. **Are you a resident of the Plan Area?** No

---

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

---

Q3. **If you would like to, please provide any detailed comments below:**

I hike these trails ever single day with my kids and dogs. It makes me incredibly sad that our trails are not going to be the same, and some of our favourite trails will be non existent.

---



**Respondent No:** 376

**Login:** Registered

**Responded At:** May 29, 2022 22:40:59 pm

**Last Seen:** May 30, 2022 04:09:36 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Narrow trail corridors dont significantly improve quality of life. Need to preserve valuable open spaces that are used for recreation in multitude of ways.



**Respondent No:** 377

**Login:** Registered

**Responded At:** May 29, 2022 22:43:02 pm

**Last Seen:** May 30, 2022 04:38:07 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I'd like to see more efforts made to preserve and expand where possible the existing singletrack trail network



**Respondent No:** 378

**Login:** Registered

**Responded At:** May 29, 2022 22:45:32 pm

**Last Seen:** May 30, 2022 04:41:14 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

The city could fundraise to buy out some of the developer's planned area to preserve more of the trail network. We thank the owners for allowing us to use the property and feel they should be adequately compensated, but once this land is developed, it's gone for good. Ledgeview is a gem. It's part of what defines this city. Please preserve what you can.



**Respondent No:** 379

**Login:** Registered

**Responded At:** May 29, 2022 22:53:32 pm

**Last Seen:** May 30, 2022 04:43:46 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I am an avid user of the trails. Hiking, running, and mountain biking. Being active and in the trails is my sanity and is necessary for both my physical and mental health. My grandson, who is 8 and lives in a condo, has learned to love hiking on these trails and they have become his "yard". With so many families unable to afford homes with yards, we need green space for the kids to explore. As well, i am incredibly concerned about the wildlife impact. I find it so ironic that i cant have the nasty cottonwoods that tower over my home and threaten damage every windstorm taken down, but yet for development (aka the almighty dollar), it's an easy city development decision. Also, north van, vancouver, coquitlam, surrey, richmond, burnaby, mission, maple ridge, and chilliwack have amazing places to explore. We need to have the same.





**Respondent No:** 380

**Login:** Registered

**Responded At:** May 29, 2022 23:05:32 pm

**Last Seen:** May 30, 2022 04:20:35 am

Q1. Are you a resident of the Plan Area?

Yes

Q2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

Pick your preferred option

Not Really

Q3. If you would like to, please provide any detailed comments below:

According to your plan the city wants to increase the population of Abbotsford yet severely decrease the area its residents go for their mental health. On any day Mckee is swarmed with people enjoying the single track trails. They go to explore the forests, listening to the birds, enjoy the sights and smells while getting their exercise. Walkers, runners, bikers and photographers all explore Mckee. Your draft plan needs to do more to protect this sacred resource. Nature is being demolished for development. When all the parks can't handle the current population the city wants to remove 90% of Mckee to development and add another 20k people. Abbotsford needs to protect more natural space for wild forests... trails shouldn't be shared with wildlife corridors and waterways. Those risky geotechnical areas need to be saved for open space, not given to developers who want to spend more money to develop. Save and protect our forests in the city. With all the area being lost to development the city needs to allocate more space elsewhere to accommodate the demand for outdoor recreation. We don't need gravel paths, the city has Willband, Discovery trail and the dyck system. Mckee offers a unique mountain experience in the city, leave the area as dirt trails... this is what the residents come here for, the world class single track trails... people move to Abbotsford for the Mckee experience.. to have Sumas and McKee so close to home. Cities who prioritize wild natural spaces know how much value it brings to its core. Mission, Chilliwack and Hope are investing in outdoor recreation, Abbotsford needs to do the same. The Sema'th people have a story to tell.. the caves are a cultural sensitive area which people from all over need to understand its significance. We have an opportunity to tell their story. Have a interpretation trail, let people see these caves, with signage to inform people what happened all those centuries ago, don't decommission this special area. Fences won't stop people from going to this area, better to create a network to educate the public. Partner with the Sema'th people to represent their culture and stories. The city of Abbotsford has a group of outdoor enthusiasts who care for these trails. Both Fraser Valley Mountain Bike Association and the Abbotsford Trail Running Club have been active in maintaining its members who value what Abbotsford has to offer. These volunteers are the voice of the trails. Abbotsford needs to partner with these societies to create a community who appreciates the trails. To create this Mckee neighborhood the city is dreaming of it needs the experience and voice of these societies who have been volunteering their hours for this trail community.



**Respondent No:** 381

**Login:** Registered

**Responded At:** May 29, 2022 23:27:41 pm

**Last Seen:** May 30, 2022 05:04:49 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I've moved onto Kensington Court 4 years ago because of the beautiful forested area that surrounds our street. This forested area houses multiple animal and bird species, including many resident owls. I am very concerned that this development would displace all these beautiful creatures. The natural environment and sounds it provides as well as the various trails and fresh smells it provides have been very good for my mental health and am really concerned that this development would take away. The main reason we moved to this area was for all this natural beauty. If this development goes through we would consider moving as it would become another large neighborhood, just like the one we moved from 4 years earlier. This is Not what I would like to do. I understand that the city needs more areas to provide future growth but why such a steep mountain terrain with so many challenges and displacing so many animals. These are thoughts and concerns as a resident that would be affected by this development.



**Respondent No:** 382

**Login:** Registered

**Responded At:** May 29, 2022 23:29:39 pm

**Last Seen:** May 30, 2022 05:21:10 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

McKee peak and its trails are the crown jewel of the neighborhood. They are the reason I moved to Abbotsford as a young engineer. If the trails are gone, I will move. There are ways to preserve the trails and the view point. The city should capitalize on these trails to attract tourists. People travel to BC from all around the world for the nature and trails. This would be a terrible loss. Mountain biking has exploded into the mainstream, the Fraser Valley really needs to start promoting their trails and catch the mountain bikers travelling from all around the world just like the sea to sky.



**Respondent No:** 383

**Login:** Registered

**Responded At:** May 29, 2022 23:36:50 pm

**Last Seen:** May 30, 2022 05:35:44 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I think we should have more trails and not end up having boring trails



**Respondent No:** 384

**Login:** Registered

**Responded At:** May 29, 2022 23:48:58 pm

**Last Seen:** May 30, 2022 05:47:43 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I am a Biker... Who uses these trails almost every day



**Respondent No:** 385

**Login:** Registered

**Responded At:** May 29, 2022 23:52:26 pm

**Last Seen:** May 30, 2022 05:48:15 am

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Yes, completely!

Q3. **If you would like to, please provide any detailed comments below:**

Makes sense that this area would be developed next since it will extend from the Highlands. It will be a beautiful setting for more housing in Abbotsford while also providing a ton of opportunity for local businesses & trades from the development. Well done!!!



**Respondent No:** 386

**Login:** Registered

**Responded At:** May 29, 2022 23:52:51 pm

**Last Seen:** May 30, 2022 05:27:57 am

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I understand Abbotsford is growing, and as a result new areas will continue to be developed. McKee Peak however, is an incredibly special hidden gem in our city that attracts thousands of local residents and even those from neighbouring communities. This means Abbotsford has become a destination city people are motivated to visit. I've lived here for 33 years and never did I think Abbotsford would be considered a place people would drive from Vancouver With the influx McPee Peak brings in tourism, this directly feeds into supporting other sectors in Abbotsford such as the small business sector. With living through a pandemic for the last 2.5 years, these trails have become a healing escape for me, and I'm sure many others during a time when mental health needs are at an all time high! . Many families in Abbotsford do not have the extra disposable income to put their kids in extracurricular activities. These trails are their school, are their



**Respondent No:** 387

**Login:** Registered

**Responded At:** May 29, 2022 23:54:24 pm

**Last Seen:** May 30, 2022 05:51:34 am

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The trails on McKee need to be preserved. They are used extensively by all ages. It is a local gem. Once developed, we can never get them back. Hiking, mountain biking, exploring, enjoying nature are so important to the well being of our community. Please protect this beautiful area of our city.





**Respondent No:** 388

**Login:** Registered

**Responded At:** May 30, 2022 00:04:40 am

**Last Seen:** May 30, 2022 05:59:39 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I am disappointed to lose an urban park like McKee. I ran, hiked and mountain biked up there for a decade. Suburbia can be sprawled anywhere, saving a mountaintop oasis in a growing city should be a priority.



**Respondent No:** 389

**Login:** Registered

**Responded At:** May 30, 2022 00:29:43 am

**Last Seen:** May 29, 2022 22:28:06 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I am concerned that not enough of the natural landscape will be preserved, including the network of excellent single-track trails used by hikers, trail runners, and mountain bikers like myself.



**Respondent No:** 390

**Login:** Registered

**Responded At:** May 30, 2022 00:58:28 am

**Last Seen:** May 30, 2022 06:57:35 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

Avid mountain biker. These trails are unique and should be preserved. Work with FVMBA, and keep some of this unique area alive!



**Respondent No:** 391

**Login:** Registered

**Responded At:** May 30, 2022 04:33:47 am

**Last Seen:** May 30, 2022 10:32:36 am

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The trails are used by so many hikers and bikers. In Abbotsford we have very little things for kids and teens.



**Respondent No:** 392

**Login:** Registered

**Responded At:** May 30, 2022 05:59:21 am

**Last Seen:** May 30, 2022 11:53:07 am

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I have been an Abbotsford resident for over 30 years, and have been hiking and mountain biking the trail network on McKee Peak for the last 5+ years. These trails are currently the only place I can mountain bike, because of their proximity to the city center. Please preserve as many of these trails as possible, and continue collaborating closely with trail users and organizations such as the FVMBA. These trails are a unique community resource that thousands of people use to get outside, appreciate nature, and enjoy healthy recreation. Losing the trails in favour of urban development would eliminate an incredibly special place that may be the only forest many people have access to, especially lower-income residents.



**Respondent No:** 393

**Login:** Registered

**Responded At:** May 30, 2022 07:05:11 am

**Last Seen:** May 30, 2022 12:58:50 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

There are only two mountains in Abbotsford remaining. By building homes across McKee Peak we are losing a valuable natural forest and place full of mountain Biking and hiking trails. The plan needs to address this loss impact by leaving buffer zones within the forest untouched that will allow for some trail networks to remain and areas of forest that are still natural spaces where you don't feel the impact of development as you walk through nature. This development will impact hundreds of species and the population of many native animals and plants. I guess that is supported by council and government. Pretty disappointing to lose this special place.



**Respondent No:** 394

**Login:** Registered

**Responded At:** May 30, 2022 07:34:41 am

**Last Seen:** May 30, 2022 13:33:36 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

Leave the trail system alone. I'm fact, please build more. If covid had taught us anything ... It's that we need more outdoor space. More single track trails.



**Respondent No:** 395

**Login:** Registered

**Responded At:** May 30, 2022 07:35:23 am

**Last Seen:** May 30, 2022 13:34:05 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I'm concerned about the loss of great hiking trails and wilderness areas.





**Respondent No:** 396

**Login:** Registered

**Responded At:** May 30, 2022 07:54:06 am

**Last Seen:** May 30, 2022 13:52:57 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

This is a horrible plan which will destroy incredible forested area for more silly development. LEAVE THE FOREST ALONE!



**Respondent No:** 397

**Login:** Registered

**Responded At:** May 30, 2022 07:54:41 am

**Last Seen:** May 30, 2022 13:51:29 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I use the Ledgeview trail system 2 mornings per week at minimum. I see that there is still allowance for some of the trails, but honestly, it's just not enough. The biggest win here would be to double the trail amount. Sure you might lose some buildings or some stores, but you will keep the integrity of the land, and the amount of users will stay the same instead of decrease. People won't come if there aren't enough trails. And you can squeeze 55,000 people into a few trails...they will all go somewhere else, making this development less of a success of what is planned.



**Respondent No:** 398

**Login:** Registered

**Responded At:** May 30, 2022 08:00:01 am

**Last Seen:** May 30, 2022 13:56:43 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

Please retain as much existing single track trail as possible. The McKee trail network is a hidden gem that can be used as a tourist destination for mountain bikers and hikers and attract people to the new commercial district proposed. Affordable housing is critical for Abbotsford and should be a primary focus of this plan. Housing is at a crisis in our community and a strong bold strategy is needed in all new developments to ensure our community continues to thrive.



**Respondent No:** 399

**Login:** Registered

**Responded At:** May 30, 2022 08:01:13 am

**Last Seen:** May 30, 2022 13:52:55 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I am about to move into this area and the quiet and forested nature is what sold me on the area. Bringing this many new dwellings to the region will completely change the nature of the area. The fact that there is limited people is the main draw to live here! Not to mention the destruction and devastation it would do to the mountain and wildlife habitats. Society has built more and more into wildlife habitats and we are destroying the natural ecosystems. Then we wonder why bears start strolling down our streets or mass rainfall brings landslides to destabilized construction zones. Furthermore, Ledgeview is enjoyed and cared for by the community. It is a staple of the Abbotsford outdoor and rec lover's locations to enjoy nature. It brings people together outdoors. It is a place to take in the spectacular Fraser Valley landscape. This project will destroy a beautiful mountain while also ruining Abbotsford residents' trust in the city to make informed and fair decisions.



**Respondent No:** 400

**Login:** Registered

**Responded At:** May 30, 2022 08:09:05 am

**Last Seen:** May 30, 2022 14:08:09 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

Keep as many of the trails on McKee peak as humanly possible!



**Respondent No:** 401

**Login:** Registered

**Responded At:** May 30, 2022 08:34:26 am

**Last Seen:** May 30, 2022 14:32:12 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

i am a keen mountain biker who frequently uses the Ledgeview/McKee trail system. I believe a solution to the development plan that retains as much of the existing trail network and/or enables the creation of new trails would benefit all and retain the great heritage of this area for all people who enjoy the outdoors..



**Respondent No:** 402

**Login:** Registered

**Responded At:** May 30, 2022 08:40:59 am

**Last Seen:** May 30, 2022 14:36:00 pm

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I would like protection of the forest areas and less development. The trails in there are great and a huge factor in quality of life.



**Respondent No:** 403

**Login:** Registered

**Responded At:** May 30, 2022 08:41:43 am

**Last Seen:** May 30, 2022 14:39:18 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I want to see complete protection for the ranch up trail on the highway side as well as a selection of downhill trails.





**Respondent No:** 404

**Login:** Registered

**Responded At:** May 30, 2022 09:01:19 am

**Last Seen:** May 30, 2022 14:59:57 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

Protect more trails



**Respondent No:** 405

**Login:** Registered

**Responded At:** May 30, 2022 09:01:25 am

**Last Seen:** May 30, 2022 14:50:01 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 406

**Login:** Registered

**Responded At:** May 30, 2022 09:03:21 am

**Last Seen:** May 30, 2022 14:58:53 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

I would really like to preserve as much of the existing single-track as possible, or where not feasible create new single-track to offset the lost trails. I would also love to see continued/increased collaboration with the FVMBA throughout the planning and developing process by establishing a Trail Advisory Committee to ensure a best case scenario within the development constraints.



**Respondent No:** 407

**Login:** Registered

**Responded At:** May 30, 2022 09:07:37 am

**Last Seen:** May 30, 2022 15:06:03 pm

Q1. **Are you a resident of the Plan Area?**

Yes

I'm Not Sure

---

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

---

Q3. **If you would like to, please provide any detailed comments below:**

Do not wreck the great forest trails in this area.

---



**Respondent No:** 408

**Login:** Registered

**Responded At:** May 30, 2022 09:08:40 am

**Last Seen:** May 30, 2022 15:04:40 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I hike those trails all the time with my dog. This is an area I go to to decompress. Be devastating if it was destroyed. It is so nice to see how much the trails are used by everyone whether it is for hiking or mountain biking. Don't destroy something so beautiful and well used!



**Respondent No:** 409

**Login:** Registered

**Responded At:** May 30, 2022 09:15:17 am

**Last Seen:** May 30, 2022 15:13:46 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

It'd be very nice to keep the park/hiking trail space, or at least still continue to have a similar park/trail, tho I do also understand the need for more housing and the like.



**Respondent No:** 410

**Login:** Registered

**Responded At:** May 30, 2022 09:24:46 am

**Last Seen:** May 30, 2022 15:14:47 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

I would hate to see the destruction of one of Abbotsford's only natural forest/mountain environments. The trails there are a wonderful local and accessible spot for hikers and bikers and provide a much needed area to escape the city and enjoy nature without having to drive to a neighboring city. I would hate to see the area turn into a residential area with "parks" that only the local residents use.



**Respondent No:** 411

**Login:** Registered

**Responded At:** May 30, 2022 09:28:09 am

**Last Seen:** May 30, 2022 15:22:27 pm

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

This area is an oasis! Walking, jogging and biking through it is critical for mental health. It is safe for women to be out, it is full of living creatures and it is the last lung left of the fraser valley to filter pollution.





**Respondent No:** 412

**Login:** Registered

**Responded At:** May 30, 2022 09:31:27 am

**Last Seen:** May 30, 2022 15:19:00 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I understand change/growth is inevitable in our city but I would surely love to see trees on our mountains more than houses. The fact that I can drive ten minutes to get away from the city and clear my mind on the trail is truly a gift that walking Mill Lake does not provide. My other concern would be for the youth of our community. Ledgeview trails has been a place for so many youth to ride off steam in a healthy way. Close to home and not touched by people sitting behind a desk telling them what is right for them. Nothing like a day spent in the forest for these kids. I know those were the best days spent when I was a young kid growing up in Abbotsford. Would love to keep providing these spaces for them.



**Respondent No:** 413

**Login:** Registered

**Responded At:** May 30, 2022 09:34:35 am

**Last Seen:** May 30, 2022 15:33:53 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Yes, completely!

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 414

**Login:** Registered

**Responded At:** May 30, 2022 09:39:44 am

**Last Seen:** May 30, 2022 15:13:17 pm

Q1. Are you a resident of the Plan Area?

No

Q2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

Pick your preferred option

Somewhat

Q3. If you would like to, please provide any detailed comments below:

I love the look of the neighborhood centre (McKee Village) Abbotsford needs more community, beautiful spaces, where you can go to exercise and have some refreshments, do a quick errand. Looks great...I love it! More like Garrison Crossing. Good job! BUT.....you can't get rid of so much green space!! This is Abbotsford's gem. Where else do you see the amount of people biking/hiking up to get exercise? And can feel decently safe walking around, because everyone is doing the same? It's a great vibe up there. My son has been sick in bed with headaches, and had to leave school in Grade 5. He's now in grade 10 and finally starting back slowly in MEI. We moved 2 years ago, specifically into this area because of the proximity to Ledgeview (we are on the border) . And as we suspected, this has become his lifeline, a reason to get out of bed. (He is getting better, we fly to California every 2 months for help) . He's got friends now, and they are up there about 3 times a week, and he usually goes almost every day himself. My concern is with the AMOUNT of hillside that will be taken up. And when you mention "maintain existing trails where they don't interfere with development" THIS shows where your intention lies. It's always about the development. Sometimes it needs to be the other way around. Are you going to just leave a few trails, and "dumb them down" ?? A few little trails that the boys won't find challenging anymore? Do you not see that this gets our kids outside and off screens, spending time in the great outdoors where they should be? Maybe I'm wrong, but it's hard to tell from the little map how much will be destroyed. Thank you for consideration [name removed]



**Respondent No:** 415

**Login:** Registered

**Responded At:** May 30, 2022 09:40:08 am

**Last Seen:** May 30, 2022 15:31:15 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

At the townhall, City staff implied that the plan was approved by local First Nations, but in speaking with some, that does not appear to be true. Consent for development on their lands is vital. In order to protect vulnerable species, more and larger green areas are required. The Wildlife corridors in the current plan look like they will result in a lot of human-wildlife conflicts in an area that already struggles with keeping all species (including humans) safe. More single-track trails need to be preserved and not turned into gravel or paved paths. As someone who was impacted by the landslides in November 2022, this plan seems ill-timed and unsafe for current and future residents. There needs to be truly affordable housing options (e.g. a co-op). As a young person who was born and raised in Abbotsford and whose parents were also raised in Abbotsford, I don't want to have to leave the city I call home due to the housing crisis. This plan should aim to address the housing crisis, not put more money into the pockets of investors. Some of the homes should only be allowed to be purchased by first-time homebuyers to allow more people to access the housing market. Better yet, make it so no rentals are allowed in the area so investors can't outbid legitimate home owners. This plan has the opportunity to be a sustainable neighbourhood framework that other municipalities globally could look to, but it currently is missing the mark and does not fully balance all 4 sustainability pillars (social, environmental, cultural, and economic). Make Abbotsford a progressive, forward thinking city for once as it will benefit most.



**Respondent No:** 416

**Login:** Registered

**Responded At:** May 30, 2022 09:44:51 am

**Last Seen:** May 30, 2022 15:42:08 pm

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

Please preserve existing singletrack or create new singletrack to offset the lost community assets on McKee Peak. New trails should offer displaced trail users comparable and easily accessible outdoor recreation opportunities in natural greenspace



**Respondent No:** 417

**Login:** Registered

**Responded At:** May 30, 2022 09:48:21 am

**Last Seen:** May 30, 2022 15:47:42 pm

Q1. **Are you a resident of the Plan Area?**

I'm Not Sure

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 418

**Login:** Registered

**Responded At:** May 30, 2022 09:50:49 am

**Last Seen:** May 30, 2022 15:48:53 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

I would like to see many of the trails kept. This is a high use area that is easily accessible for all ages & abilities. There is nothing else like it in Abbotsford.



**Respondent No:** 419

**Login:** Registered

**Responded At:** May 30, 2022 09:52:46 am

**Last Seen:** May 30, 2022 15:43:07 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

While this draft plan is intended to facilitate development for people, I would strongly encourage that it incorporates more focus on the impact it will have for wildlife and the climate for future generations. In its current state the forested slopes of McKee Peak are providing valuable ecosystems services to the community. These include sequestration of carbon (trees and soil), absorbing and mitigating the impacts of rainfall in the downstream neighbourhoods, and providing a habitat refuge for species at risk that have not been able to persist in developed areas. We must balance the needs of healthy habitat as an equal value to human lifestyle while considering this type of development. The habitat corridors and linkages outlined at the initial stage will be reduced to narrow travel corridors that will be impacted edge effects, trail users, and road crossings. While seven Habitat Hubs have been identified, only one is truly protected for wildlife by the Fraser Valley Conservancy. Why are the same standards not applied to the other Habitat Hubs? These areas will only function as productive Habitat Hubs if significant habitat is protected in its natural state and the corridors between them are maintained. Is there a plan to acquire and protect significant areas within these Habitat Hubs? Will there be areas that will be left completely natural with no human impact so the wildlife can live undisturbed? The current plan uses the SPEA setbacks to create the habitat corridors. This is a good tool but it is not designed to protect corridors terrestrial hillside habitat like what is present on McKee Peak. While it can safeguard the mapped streams, it can not be used to create important connections between these streams and Habitat Hubs. Furthermore, when high volume storm water is diverted into these small, high gradient streams, it will scour and damage the riparian habitat that has developed naturally and supports terrestrial species. The Mountain beaver and Red-legged frog identified as key umbrella species will be impacted by how these head-water streams and nearby forests are altered during development. This can not be done as each parcel is developed, to be effective it must be done at a landscape level. Significant focus has been made on protecting Phantom Orchid Critical Habitat which is great. However, why are the other species at risk and their associated Critical Habitat being left out? The natural habitat found on McKee Peak, is truly unique in the lower mainland, and is providing so much natural services to the community needs to have more consideration in this plan.





**Respondent No:** 420

**Login:** Registered

**Responded At:** May 30, 2022 09:54:08 am

**Last Seen:** May 30, 2022 15:39:42 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Mostly

Q3. **If you would like to, please provide any detailed comments below:**

The current trail network on McKee Peak is a valuable community amenity that currently defines the area. All trails lost should be similarly (intended use, gradient, technicality) replaced in either non developable areas within the neighbourhood planning area or if not possible, at nearby locations ie Sumas. The plan should specify that replacement trails should be constructed prior to the development of areas where current trails exist. To maintain recreational opportunities but also as a sign of good faith to recreational users. Finally, trail corridors, when built after new homes are occupied may be looked at unfavorably due to the perception that they may be used for unwanted activity. By installing the trails in advance new home owners will have purchased knowing that the trail exists (something that does not always happen when a trail exists only on a plan).



**Respondent No:** 421

**Login:** Registered

**Responded At:** May 30, 2022 09:56:45 am

**Last Seen:** May 30, 2022 15:50:54 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Not Really

Q3. **If you would like to, please provide any detailed comments below:**

The Ledgeview and McKee Peak the true gem of Abbotsford and the Fraser Valley and should be preserved for the future generations. As much as possible, the single track should be preserved and the various outdoor clubs (including FVMBA and all trail running groups) that have maintained these trails should be retained and remain the stewards of the trails. They are doing an excellent job, and can help ensure that this gem remains for the generations that will follow us.



**Respondent No:** 422

**Login:** Registered

**Responded At:** May 30, 2022 09:56:54 am

**Last Seen:** May 30, 2022 15:50:05 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

This park is so unique! Its the only places in abbotsford with this much wildlife diversity and total nature that's still an easy walking or short driving distance from the downtown area. I hike and bike here daily. You don't get this kind of mountain nature feeling anywhere else. And the view of the Valley flats should be for everyone! For mountain biking especially, this plan will ruin the trail network. The proper access to climbing trails and flowy descent trails is important. And having access to multiple trail options ensures that hikers and bikers all have enough space to enjoy nature, and stay safe by spreading out and not overpopulating a trail. Please rethink this plan. Save our recreation space. Burnaby, North Vancouver, and Coquitlam have protected mountain bike trails. We should too!



**Respondent No:** 423

**Login:** Registered

**Responded At:** May 30, 2022 10:01:53 am

**Last Seen:** May 30, 2022 16:01:35 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

not answered



**Respondent No:** 424

**Login:** Registered

**Responded At:** May 30, 2022 10:07:55 am

**Last Seen:** May 30, 2022 15:59:38 pm

Q1. **Are you a resident of the Plan Area?**

Yes

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

No Way!

Q3. **If you would like to, please provide any detailed comments below:**

The trails mostly used by bikers but also a lot by hikers, walkers, & runners I hike/run the trails above and below the cliffs above Watcom rd & Sanderingham. They are amazing. All the council should go for a walk there before any decision is made. We have an absolute gem there. And if preserved & cared for can be for a long time.



**Respondent No:** 425

**Login:** Registered

**Responded At:** May 30, 2022 10:19:34 am

**Last Seen:** May 30, 2022 16:06:56 pm

Q1. **Are you a resident of the Plan Area?**

No

Q2. **Do you support the vision & direction for the neighbourhood presented in the draft plan?**

Pick your preferred option

Somewhat

Q3. **If you would like to, please provide any detailed comments below:**

I understand the need for increased residential housing in Abbotsford, and how this plan extends the existing neighbourhoods in the area. I am a frequent user of the McKee peak forest, using it regularly for hiking, running, and biking. The accessibility of this natural environment is a gift to our community and people have worked hard to sustain an accessible set of trails that are used by many people in our community. The plan for trails (pp. 49-55) offers good general directions, but is still quite vague in exactly how development will ensure trails are maintained and/or created (e.g. single track hiking/biking/running will be an asset to keep). I support the Fraser Valley Mountain Bikers Association's suggestion that Trail Advisory Committee be created to support the facilitation of the trails plan moving forward.



# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?

☐

YES

☐

NO

☐

I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☐

YES,  
COMPLETELY!

☐

MOSTLY

☐

SOMEWHAT

☐

NOT REALLY

☐

NO WAY!



3. If you would like to, please provide any detailed comments below:

We back onto McKee Rd. Live on McQueen Place.  
Would sure like to know the road  
development will start before any further  
population increase. Too much traffic  
already. One way in Augusta & one way  
out is a huge safety concern, especially  
because of the predicted earthquake in  
the future.

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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City of Abbotsford | 32315 South Fraser Way, Abbotsford, BC V2T 1W7  
p: 604-864-5510 e: mcomb@abbotsford.ca

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

I really like where the plan is going in terms of protecting the natural environment and existing trail network. This vision should be implemented in the future when developers come to develop these properties.

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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City of Abbotsford | 32315 South Fraser Way, Abbotsford, BC V2T 1W7  
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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

love the plan with so much parks, green space and school

\*don't want apartments taller than 4 storeys

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?

☐ YES

☒ NO

☐ I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☐ YES, COMPLETELY!

☒ MOSTLY

☐ SOMEWHAT

☐ NOT REALLY

☐ NO WAY!



3. If you would like to, please provide any detailed comments below:

DR. MCKEE'S RHODODENDRON GARDEN  
AT MCKEE & WHITCOMB - S.E. CORNER  
SHOULD BE A PARK

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

WE NEED A FIREHAUL!

AND A PUB.

THANKS!

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

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# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?

☐

YES

☒

NO

☐

I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☐

YES,  
COMPLETELY!

☐

MOSTLY

☒

SOMEWHAT

☐

NOT REALLY

☐

NO WAY!



3. If you would like to, please provide any detailed comments below:

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# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES, COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

- Please keep the forest intact as much as possible, including existing trails that are in the corridor areas
- Please work with ATREC + FVMBA re: trails
- Protect the environment and do more than what is expected

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?

☒ YES

☐ NO

☐ I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☐ YES, COMPLETELY!

☐ MOSTLY

☒ SOMEWHAT

☐ NOT REALLY

☐ NO WAY!



3. If you would like to, please provide any detailed comments below:

*I realize development is needed,  
but this area is great the way  
it is*

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

I would like to see more middle density housing,  
As many daily amenities for residence as possible:  
schools, grocery, daily goods to reduce excess driving,  
and as much green space conserved as we can.

Additionally with the idea of an "adventure centre" has  
any consideration been made to include the rock climbing  
at the nearby Sumas Bluffs?

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?

☐

YES

☒

NO

☐

I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☐

YES,  
COMPLETELY

☐

MOSTLY

☒

SOMEWHAT

☐

NOT REALLY

☐

NO WAY!



3. If you would like to, please provide any detailed comments below:

Please keep as many of the hiking and biking trails as possible  
and please do not turn the trails into wide gravel or  
paved paths.

# THANK YOU!

Please place your completed comment sheet in the comment box, or  
return it by May 30, 2022, at 9:00am to:

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES, COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

The situation presented by the "ledgeview" trails is certainly difficult at best. I would urge developers and city planners to consider the long term asset the presence of a widely loved trail network presents. Consider the kind of city we want Abbotsford to become as a destination rather than a ~~concrete~~ collection of homes void of any focal point or interest that could set it aside from sprawling suburbs.

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?

☐

YES

☒

NO

☐

I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☐

YES,  
COMPLETELY

☐

MOSTLY

☒

SOMEWHAT

☐

NOT REALLY

☐

NO WAY!



3. If you would like to, please provide any detailed comments below:

Loop trails  
Wildlife Corridors

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

Even though not a resident in immediate area  
I live in Abbotsford & frequent the Ledge View  
trails. Please, please, please don't take those  
awesome trails for trail, hikers, bikers, walkers etc  
away! Paved short trails in a new development  
won't cut it! Ask a biker, hiker, runner! Keep  
the single track, dirt, rustic trails we all love!  
Don't take these away!

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

I am concerned that the planned trail network will just be 'gravel paths' and not what people who have moved to the area for.

The 4 lane revision of McKee also worries me and my family. The traffic is already very high speed. The addition of 2 new lanes will make it worse.

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

There needs to be better access to Highway 1. Maybe another on ramp and exit east of Whatcom.

Divided bike lanes. Sidewalks on both sides of the street.

Don't ruin the trails

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

While the recreational trail network represents trespass, they exist (and have existed for decades) & have value (both sentimental & economic). It would be of value to see a proposed development plan reflect the trail courses of existing trails even though there are in essence illegal & represent trespass. This would help in understanding how future development of trails within green spaces might incorporate existing trails as well as accommodate future trail networks.

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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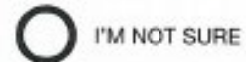
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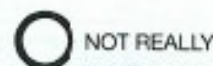
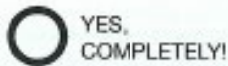
# DRAFT MCKEE NEIGHBOURHOOD PLAN COMMENT FORM



1. Are you a resident of the Plan Area?



2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



3. If you would like to, please provide any detailed comments below:

I understand that Abbotsford is growing as a city but we need to protect McKee Peak (Ledgeview). The mountain is used by so many to escape into nature. We are a mountain bike family and we moved to Auguston just for the surrounding trails and green space/nature. We would be heartbroken to see McKee Peak become gravel paths and shops, or even worse another Eagle Mt. cement hell. The trails need to stay connected and be accessible. We don't want a mall or another shopping village, that's why we live out of town.

## THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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City of Abbotsford | 32315 South Fraser Way, Abbotsford, BC V2T 1W7  
p: 604-864-5510 e: mcomb@abbotsford.ca

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES, COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

I support the idea of mountain bike trails in this new community. I don't want to see gravel paths in a maze all over the mountain between monster homes and shops.

What can we do to deal with the increase of people if this goes through.

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?

☐ YES

☒ NO

☐ I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☐ YES, COMPLETELY!

☐ MOSTLY

☒ SOMEWHAT

☐ NOT REALLY

☐ NO WAY!



3. If you would like to, please provide any detailed comments below:

*McKee Peak*  
has world class mountain bike, hiking, running trails. I believe the goal should be to preserve as many single track trails as possible. I understand the need for multi-use gravel paths but not ALL trails need this. Look at Chilliwack community forest as inspiration. Development yes but please allow FUMBA and ATRC to consult on new trails and maintenance of existing trails. I use the trails weekly and love the area.

# THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

I like the plan in general. Primary concern would be to maintain as much of the developed green space (current trail network). I work with someone in Ohio that comes here each year for the trails with a group of friends and enthusiasts. First glance at the plans shows more development than I would like. The open space is what brought our family to the area.

# THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

We do need more housing. However this is creating a very high luxury area. My main concerns are roads/schools/child care/health care for all those ppl. there is already not enough doctors in Abbotsford. How is the city actively working with the province/ Fraser Health to ensure adequate care can be provided to all residents. Schools are already packed in All area Schools & in the McKee development should be considered to built early on.

Old clayburn road HAS to be consider with the development

## THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

THE DEVIL IS IN THE DETAILS. THE CONCEPT IS APPEALING  
WITH THE PROPER SAFEGUARDS. AS A SEVENTEEN YEAR RESIDENT  
OF AUSTON, I STILL HAVE CONCERNS ABOUT THE POTENTIAL TRAIL  
FARM EXPANSION AND THE ON-GRAB PIPELINE WORK. THE "VILLAGE"  
MIGHT WORK BUT THE EVENTUAL BUILD-OUT COULD BE  
PROBLEMATIC.

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

Not necessary to have such high density up here. Traffic will be an issue. People will not spend all their time and money in this one area. They will be driving elsewhere.

# THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

Harvest Drive much  
Cul de sac!  
dangerous!

# THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?

☐

YES

☒

NO

☐

I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☐

YES,  
COMPLETELY!

☐

MOSTLY

☐

SOMEWHAT

☒

NOT REALLY

yet

☐

NO WAY!



3. If you would like to, please provide any detailed comments below:

Trail corridors are important to me for access to potential trail systems north of Auguston (FVRD) and the Sumas Mtn recreation area. Hoping that trail corridors will take precedence over applications that mitigate geotechnical risk, reducing the main south to north to McKee Village trail corridor.

# THANK YOU!

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# HARVEST DRIVE CANT GO THRU. DRAFT MCKEE NEIGHBOURHOOD PLAN COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



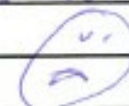
NO WAY!



3. If you would like to, please provide any detailed comments below:

ult will end up all  
multiple family  
because single  
family home are  
so expensive.  
- please address this  
issue.

if could  
look  
like  
Survey!!



## THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

The area will change too much removing  
a current draw for living in the area.  
There would be a large part of the environment  
that would be removed, that while it appears to  
be accounted for doesn't maintain the spirit of what's  
there.

# THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES, COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

*Harvest Drive - DO NOT BUILD CONNECTOR ROAD TO NEW DEVELOPMENT*

*REASONS = SAFETY - SPEEDING*

*= NO USE TO FEED TRAFFIC THROUGH*

*= CONSERVE GREEN SPACE / DON'T SPLIT*

# THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?

☐

YES

☒

NO

☐

I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☐

YES,  
COMPLETELY!

☐

MOSTLY

☐

SOMEWHAT

☒

NOT REALLY

☐

NO WAY!



3. If you would like to, please provide any detailed comments below:

*I am very concerned that the mountain walking loop will be destroyed*

*After talking with Mitch, I am further concerned that the traditional Indigenous areas such as Thunderbird Caves will be impacted if not destroyed*

# THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

Need more forest land for wildlife. Shared mixed use trails  
are doing wildlife corridors

- More loops and connector trails

- Keep heritage sites such as cliffs and caves to provide education  
and history.

- Develop other hiking opportunities to manage growth

- Work with FVMBH + AFRC for trail development

# THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES, COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

I would like to know the proposed cumulative km's of single track trail that will be in place after development. I would like parking & trail access to be addressed. Wildlife corridors should not overlap directly with the trail networks.

How are the local Semath people's being involved in land/business ownership vs "cultural inclusion"?

Will development funds contribute to local trail group & nature preservation initiatives? Concerned for wildlife impacted due to human

# THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

I am <sup>concerned</sup> ~~concerned~~ that animal welfare has not been fully considered. There's discussions about "corridors", but they're where trails are proposed & through golf course // Trails being developed should include single track & discussed with local trail user groups (ATRC + FUMBA etc) // How are local indigenous groups involved in the planning to protect culturally sensitive areas // will development close the mountain while construction starts // Who will be responsible for ensuring safe water practices are being implemented (protecting waterways on mountain) // Any plans to preserve green spaces for future generations - right now, we're removing them.

# THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?

☒ YES

☐ NO

☐ I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☐ YES, COMPLETELY!

☐ MOSTLY

☐ SOMEWHAT

☐ NOT REALLY

☒ NO WAY!



3. If you would like to, please provide any detailed comments below:

Ledgewood has a fantastic network of mountain bike trails and is a very special spiritual place for many to escape into nature. Please keep this space from turning into another eyesore. I feel for all the nature and deep history of this space / mountain. Build elsewhere!

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES, COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

I live in Abbotsford because of the quality of life the nearby recreation (mountains) offer for mountain biking. ~~The city benefits from~~ Thinking of desirable towns to live in (ie. Squamish, Nelson, Fernie) are desirable because of preserved recreation networks of trails, mountains, etc. ~~and~~ Those places would ~~have much less~~ not be as desirable if those nearby networks didn't exist. Building houses on those networks would deter ~~the~~ tourism and people wanting to live there.

# THANK YOU!

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## COMMENT FORM



1. Are you a resident of the Plan Area?

☐

YES

☒

NO

☐

I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☐

YES,  
COMPLETELY!

☐

MOSTLY

☐

SOMEWHAT

☐

NOT REALLY

☒

NO WAY!



3. If you would like to, please provide any detailed comments below:

I weekly come and trail run, mountain bike or hike on the McKee trails. I want to see them preserved with single track trails still being there for me, my friends and children to use. I want to see the forest, trees, wildlife unaffected. Please leave our trails for us to use! There isn't enough space for children to go to school. ~~enough~~ space. It will make our mountain look ugly and driving/parking will be a nightmare.

# THANK YOU!

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## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES, COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

Mountain bike trails  
Trails are a beneficial investment to the city ~~with~~  
~~more~~ in the long run more so than a development.  
Initially I would imagine a development makes more  
profit in a shorter amount of time but in the long  
run recreational trail networks create a community  
that ~~creates~~ creates a quality of life that  
~~is~~ gives a city a reason to live and enjoy life  
in. I can't foresee myself living in Abbotsford if

trail-worthy forests and networks are turned into houses

# THANK YOU!

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and that being priority after recreation



# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?

☐

YES

☒

NO

☐

I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☐

YES,  
COMPLETELY!

☐

MOSTLY

☐

SOMEWHAT

☐

NOT REALLY

☒

NO WAY!



3. If you would like to, please provide any detailed comments below:

I am concerned about trails being retained as mountain bike specific, not multi-use as this seems to cater to the hikers not mountain bikers making the trails unsafe for mountain bikers riding down trails. I think it is important to ~~keep~~ keep trails as they are but include signage i.e. "mountain bikes only" or "hiking/trail running only".

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

*Regularly (1 time every 3rd ride)*  
I see Bears and have even seen cougar while mountain biking. I have also seen one bear den right in the middle of one of the development areas. My concerns are maintaining the wildlife habitat.

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

Against commercial buildings .  
Access will be a mess .  
Keep the area natural

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

I live in Abbotsford because of the incredible trail networks on Ledgerview and Sims. I'm on the trails every week. It's a huge part of my life and overall health and wellness. This development and the removal of the mountain bike trails would negatively impact my life. Please understand that not all trails are equal. We want to protect the single track mountain bike trails. We're not interested in urban trails like Clayburn or Aldergrove Park. We want rugged, single track trails.

# THANK YOU!

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MAY 17, 2022

Dear Mr. Comb

I know you have to develop Ledgeview.

Please don't destroy all of the trails. It would be great if you would save as many of the trails as possible. I have been hiking at

Ledgeview since I was a baby and now I am mountain biking so these trails mean

a lot to me. Me and my family go to Ledgeview almost every day. These are some of the trails

I love Junkyard Zombie, guava Telly, dead reckoning, comp, paper route and Mr. Uppity.

I am only 9 years old and I am looking forward to lots of more years of mountain biking. Thank you for reading my letter.

1

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## COMMENT FORM



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☐

YES

☒

NO

☐

I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☒

YES,  
COMPLETELY!

☐

MOSTLY

☐

SOMEWHAT

☐

NOT REALLY

☐

NO WAY!



3. If you would like to, please provide any detailed comments below:

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COMPLETELY!



MOSTLY



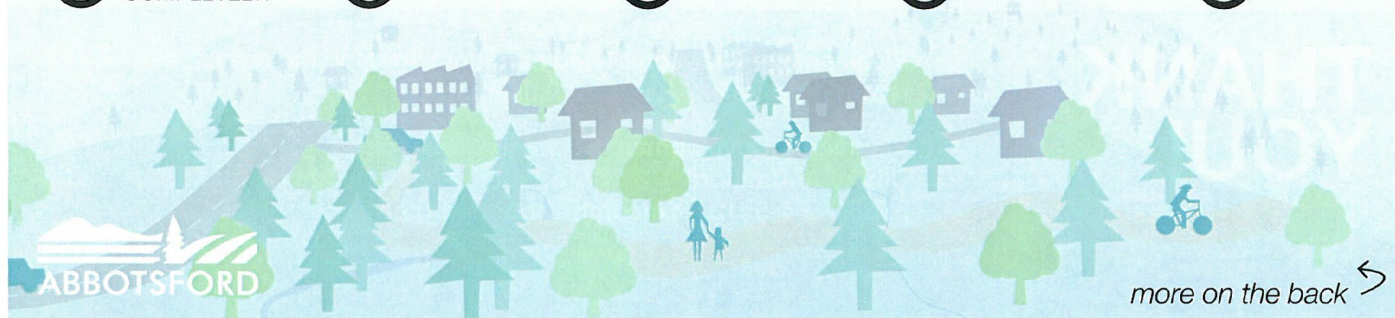
SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

*proceed TAKE SO LONG*

# THANK YOU!

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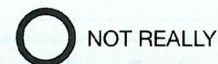
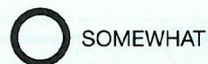
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3. If you would like to, please provide any detailed comments below:

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YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



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---

---

---

---

---

---

---

---

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MOSTLY

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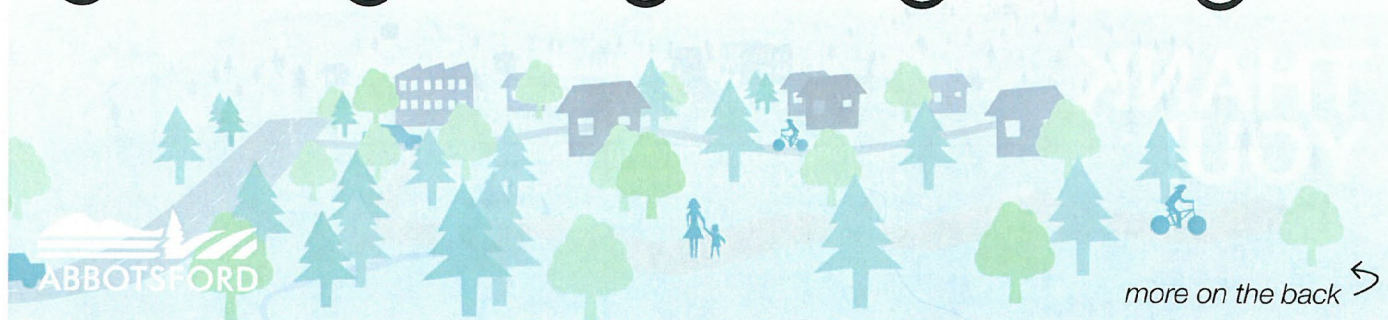
SOMEWHAT

☐

NOT REALLY

☐

NO WAY!



3. If you would like to, please provide any detailed comments below:

I appreciate the many diverse things that affect the planning of this neighbourhood. My personal plea is to use the richness of these trails + connected pathways + use them to add to this development. Think about creating a place where people can use the walkways to bike + walk and live a healthier lifestyle. Consider having houses inline to allow people the most access.

# THANK YOU!

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2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☐ YES, COMPLETELY!

☒ MOSTLY

☐ SOMEWHAT

☐ NOT REALLY

☐ NO WAY!



3. If you would like to, please provide any detailed comments below:

I WOULD LIKE TO SEE A REFERENCE  
TO THE ADJOINING DESIGNATED QUARRY ZONE  
JUST TO THE EAST OF THE MCP ZONE.  
NEW & EXISTING RESIDENTS OF THE MCKEE  
GRAYS NEIGHBOURHOOD SHOULD BE MADE AWARE OF  
THE EXISTING QUARRY OPERATIONS. AND THAT THE  
QUARRIES FILL AN IMPORTANT ROLE IN ABBOTSFORD  
AND THE REST OF THE VALLEY. FOR MANY DECADES TO  
COME.

# THANK YOU!

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COMPLETELY!

☒

MOSTLY

☐

SOMEWHAT

☐

NOT REALLY

☐

NO WAY!



3. If you would like to, please provide any detailed comments below:

I LIVE AT SELKIRK AND MCKEE. BIGGEST  
CONCERNS ARE WATERSHED ISSUES AND  
TRAFFIC ISSUES

# THANK YOU!

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YES



NO



I'M NOT SURE

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YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

I am concern about traffic. McKee road is not wide enough to accomodate such big number of cars.

We need more exits access to downtown Abbotsford, highway 1 and 11

I would like to see the little village to be a pretty pintment place.

# THANK YOU!

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YES, COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

① I am concerned about a crosswalk between the B where the golf course ends and the housing at 35840 McKee Road.

② Happy to know more trails will be available for walkers!!

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YES



NO



I'M NOT SURE

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YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

Concern over maintaining a quiet 'forest' feel  
that makes this area so special.  
Also the habitat for animals and wildlife

Thanks,  
R. Richards  
778-241-647

## THANK YOU!

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COMPLETELY!



MOSTLY



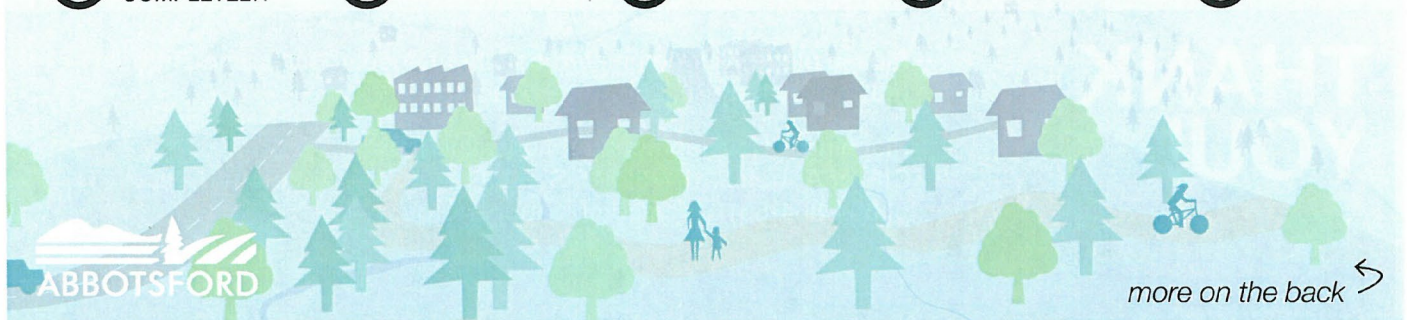
SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

- Need traffic light at McKee Rd & McKee Dr now
- Need Schools to happen sooner, not after built
- overwhelming growth projections, supported housing? traffic to exit? 4 lane McKee - Yikes!
- Active Living opportunities for persons with limited mobility (some paved trails loops, etc.)

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YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

-would like to see a dog park, Auguston area  
-will there be affordable housing  
-will buildings obstruct mountain views

## THANK YOU!

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YES

☒

NO

☐

I'M NOT SURE

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☐

YES,  
COMPLETELY!

☐

MOSTLY

☒

SOMEWHAT

☐

NOT REALLY

☐

NO WAY!



*PARKS are passé - we want trails*

3. If you would like to, please provide any detailed comments below:

*It is up to the city to represent the public interest - environmental, recreation, esthetic, commercial - in this plan. Are they truly motivated & empowered to do so? It will be the city who pay for mud slides, fires etc. / or take pride in a project with everyone's interest. Where are the looped trails? - a corridor is not it. Scrap the "parks" & put the*

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*more into a beautiful natural trail system.*



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NO



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YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

WORRIED ABOUT TRAFFIC AND PARKING ON MCKEE.

AND OF COURSE DISRUPTION OF DAILY LIFE FOR THIS EXTENSIVE PLAN.

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☒ NO

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☐ YES, COMPLETELY!

☐ MOSTLY

☒ SOMEWHAT

☐ NOT REALLY

☐ NO WAY!



3. If you would like to, please provide any detailed comments below:

Concerns re: wildlife corridor

② loss of tree canopy

③ loss of biking/walking trails that are looped

④ neighbourhood parks looked very small.

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I'M NOT SURE

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YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

I AM 69 AND PLAN TO DOWNSIZE W PLACE OVER THE NEXT 10YRS  
WHERE ARE THE TOWNHOMES AND CONDOS AND ELEVATORS  
NEEDED FOR THE MOBILITY CHALLENGED AND ALSO THE PEOPLE  
JUST GETTING INTO THE MARKET. YOU TALK ABOUT HIKERS AND  
BIKERS BUT A LOT OF THOSE PEOPLE DON'T WANT 3 STOREY, INDIVIDUAL  
HOMES. WITH 100,000 A YEAR MOVING TO BC, YOU HAVE TO HAVE  
DIVERSITY. ALSO, WESTVIEW IS THE ONLY WAY UP NOW. THERE HAS  
TO BE ANOTHER ROAD! WESTVIEW IS STEEP AND DANGEROUS IN THE WINTER.  
MURRAY LEGGATI. APPLEWOOD DR

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YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

Development must go forward, I understand that! my concern is the volume & speed of traffic along mckee Rd. I have no answer or recommendations on that, only to ask that you address the concern of safety, noise etc along mckee Rd.

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NO



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YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

1. NO THROUGH ROAD AT THE SOUTH  
END OF EXISTING HARVEST DRIVE  
PUT A CUL-DE-SAC AT BOTH ENDS  
AND DON'T PASS A ROAD OVER THE CREEK  
& STREAM SIDE VEGETATION
2. DON'T OPEN UP THE EXISTING HARVEST  
DRIVE. CONSTRUCTION NEEDS TO ACCESS FROM THE NEW  
ROAD CHILDREN PLAY ON THIS STREET !!

# THANK YOU!

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YES, COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

*Do not want a through road on the South side of existing Harvest Dr. Put a cul-de-sac at both ends. This will prevent putting a road over the creek & stream, designated trail and pathway for animals. Parking for the hikers & bikers should be provided on the new south cul-de-sac.*

*Do not open up existing Harvest Dr. for construction but rather from new road via Whatcom. Consideration must be given to the children and school buses in the area.*

# THANK YOU!

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YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

Cutback to Harvest Drive. No construction  
coming in from Harvest Drive.

# THANK YOU!

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YES

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NO

☐

I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☐

YES,  
COMPLETELY!

☐

MOSTLY

☒

SOMEWHAT

☐

NOT REALLY

☐

NO WAY!



3. If you would like to, please provide any detailed comments below:

I remain concerned about the ability to protect the wildlife, natural character + unique qualities of McKee Peak. While set aside area is designated for open space the integrity of the habitat is dependent on future decisions + commitments to wildlife corridors and new protection as development details are investigated with the new population level there will have to be "no-go" areas but enforcing this will be a challenge

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

Planning & Development Services, 2nd floor  
City of Abbotsford | 32315 South Fraser Way, Abbotsford, BC V2T 1W7  
p: 604-864-5510 e: mcomb@abbotsford.ca

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

*I feel that the projected plan of 19000-28000 people is too many for this area with only one roadway out which is McKee.*

# THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

Curious about all the schools when  
population doesn't support, plus if push  
for T vacations continues more & more  
workforce will be pushed out of teaching  
so many concerns!  
Chris

# THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

- TOO MANY SCHOOLS  
- PRESENTATION IS 90% P.C. SPEECH

## THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES, COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

- Reassess plan due to increased risks of land slides & water rushing off cleared mountain slopes due to climate change. We need the trees on the Peak to stabilize the land, hold the water & provide oxygen for us to breathe.
- The citizens need the Peak trails for recreation, forest bathing etc. - this should be a priority over more development. We want the trails maintained - the small neighborhood parks are not used - Save the green spaces.
- Why are the seven owners/developers more important than the citizens?

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- This will be a neighborhood for the well to do - it will not serve low income people.



# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO

but downhill from it



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES, COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

① Main concern: Climate extreme weather events - esp Oct-Nov heavy rains. Once the soil & vegetation are disturbed, the effect on run-off is cumulative. Geo-technical (study of slope) must be linked to botanical coverage. If such-and-such is removed, what may be the effect downhill, extending even to Clayburn Village. Humans can build the drainage sluices - will Nature obediently follow them?

② Think outside the box for trails. Not postage-size 'neighbourhood' grass amidst houses - instead, how about more linked hiking trails. Mentally, doctors are even giving prescriptions for being in natural areas - let's keep, not reduce these natural areas.

# THANK YOU!

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③ Make it less? Human how to keep safe? Sensitive - & slope on those roads?



# DRAFT MCKEE NEIGHBOURHOOD PLAN COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

*Do not Destroy The area wild life Habitat*

## THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

I live on Harvest Drive 3 houses from the water fall. I would like to see Harvest turned into a cul de sac. The other side of the waterfall a cul de sac with a park lot for hikers.

# THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN COMMENT FORM



1. Are you a resident of the Plan Area?

☐

YES

☐

NO

☐

I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood  
presented in the draft plan?

☐

YES,  
COMPLETELY!

☐

MOSTLY

☐

SOMEWHAT

☐

NOT REALLY

☒

NO WAY!



3. If you would like to, please provide any detailed comments below:

CUL-DE-SACK END OF HARVEST

## THANK YOU!

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return it by May 30, 2022, at 9:00am to:

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1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

HARVEST DR MUST NOT BE USED  
FOR MAIN STREET FOR CONSTRUCTION  
ROADWAY !!!

## THANK YOU!

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1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

*Harvest Dr. would be way to busy!!*

## THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES, COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

Concerned about traffic!  
Proper trails & green spaces  
Proper care & upkeep. gardens getting proper maintenance  
and care.  
enough public spaces to enjoy!

# THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood  
presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY

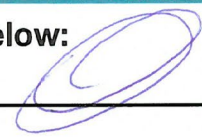


NO WAY!



3. If you would like to, please provide any detailed comments below:

*My concern is of the removal of trees as  
done by Blauson Homes in Auguston.*



## THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

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# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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☐ YES☒ NO

**O** I'M NOT SURE

Timberlane drive

☐ YES, COMPLETELY!

 MOSTLY

**O** SOMEWHAT

☐ NOT REALLY

☐ NO WAY!



Really enjoy current trails for biking + hiking. — Glad to see there will still be area for this kind of activity

# THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

would like to keep the City in the Country  
Feel. That's why we love it. ~~back~~

# THANK YOU!

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## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

We use the forested area of McKee a lot and really value it highly. I hope that the new plan will continue to allow access to relatively undisturbed forest

# THANK YOU!

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1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

Concerned about loss of green space.

Mckee + Whatecom are already very busy streets  
- ~~what will~~ How will a 5-7 fold increase  
in population be handled?

## THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

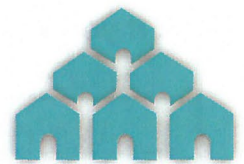
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## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

Please ensure traffic calming on the main roads  
... Westview Blvd is already really dangerous.

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# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

Concept and direction appear sensitive to design parameters.  
Looking forward to the town Centre.

# THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

- ① REPLACE ADDED TRAFFIC LIGHT WITH TRAFFIC CIRCLES  
(REDUCE POLLUTION AND COMMUTE TIMES TO COMMUTING <sup>FWY</sup> ARTERIES)
- ② PLAN AHEAD-EXPAND INFRASTRUCTURE PRIOR TO MAJOR DEVELOPMENT. (ROAD ARTERIES FIRST, NOT LAST)
- ③ MOST PEOPLE WILL COMMUTE TO WORK AREA AND MAIN CITY, IT IS CRITICAL THAT ROAD ARTERIES KEEP TRAFFIC FLOWING, NOT INCREASE TIME TO FWY OR CITY AREAS.

# THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

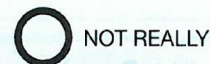
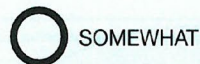
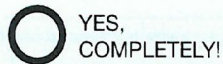
## COMMENT FORM



1. Are you a resident of the Plan Area?



2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



3. If you would like to, please provide any detailed comments below:

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1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

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## THANK YOU!

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## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

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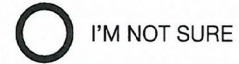
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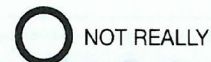
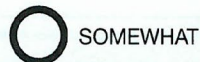
# DRAFT MCKEE NEIGHBOURHOOD PLAN COMMENT FORM



1. Are you a resident of the Plan Area?



2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



3. If you would like to, please provide any detailed comments below:

Great crew up here presenting / answering questions

Thank you... 23 yr resident happy to see this finally progress

## THANK YOU!

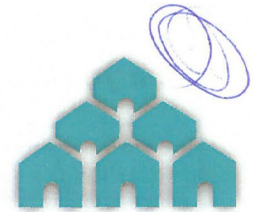
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# DRAFT MCKEE NEIGHBOURHOOD PLAN COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

I love the way the plan is thoughtfully including the natural beauty of the area. I think residents would benefit from more "culture" of a place like McKee Village.

## THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

Nice to see something moving forward.

# THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?

☐

YES

☒

NO

☐

I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☐

YES,  
COMPLETELY!

☐

MOSTLY

☒

SOMEWHAT

☐

NOT REALLY

☐

NO WAY!



3. If you would like to, please provide any detailed comments below:

Please, please, please!!! Try to save the green space for all Abbotsford residents!! We've seen mega development at Eagle Mt - It's SO SAD!! Please think about the need for green space for future generations. Once it's gone - it's gone!!

# THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?

☐

YES

☒

NO

☐

I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☐

YES,  
COMPLETELY!

☐

MOSTLY

☒

SOMEWHAT

☐

NOT REALLY

☐

NO WAY!



3. If you would like to, please provide any detailed comments below:

Would love to see a many single track trails as possible saved. Abbotsford has no other areas like this available. Part of this comes down to physical and mental health.

# THANK YOU!

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1. Are you a resident of the Plan Area?

☐

YES

☒

NO

☐

I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☐

YES,  
COMPLETELY!

☐

MOSTLY

☒

SOMEWHAT

☐

NOT REALLY

☐

NO WAY!



3. If you would like to, please provide any detailed comments below:

Please focus on keeping trails + trail networks! Think Chilliwack Community Forest. These trails are important to the Community!

## THANK YOU!

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## COMMENT FORM



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YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

I WOULD LIKE MORE CLARITY ABOUT THE TECH  
CENTER OR WE TOWN DEVELOPMENT. IT SEEMS THERE ARE  
CONSTANT APPLICATIONS FOR THIS AREA THAT DO NOT ALIGN WITH  
YOUR COMMUNITY PLAN. NOT SURE WHY THIS IS CONTINUED  
TO BE ENTERTAINED WHEN IT IS IN CONFLICT W THE  
STATED PLAN.

# THANK YOU!

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## COMMENT FORM



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YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



more on the back ↗

3. If you would like to, please provide any detailed comments below:

Cutting Forest area to create parks + trails does not  
make sense - better planning required to minimize damage  
to the Forest.  
trees stop land slide in rain, is that considered?

# THANK YOU!

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YES



NO



I'M NOT SURE

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YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

McKee Peak is one of the few undeveloped areas in the city - It will be a great shame to lose such a resource in a time when it is so needed.

I appreciate that the city is trying to serve all its citizens but wilderness once destroyed is hard to recreate.

The plans are well thought through. The presenting team were informative, thoughtful and fair.

It's certainly going to change the way of life for existing residents.

## THANK YOU!

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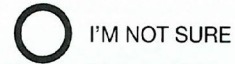
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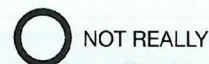
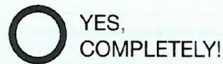
# DRAFT MCKEE NEIGHBOURHOOD PLAN COMMENT FORM



1. Are you a resident of the Plan Area?



2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



3. If you would like to, please provide any detailed comments below:

The conceptual plans look great! though the reality may be a far cry from what is proposed. So much of this neighbourhood has been overtaken by poor planning: inadequate parking for overfilled homes with carriage houses. We came here for the NATURE and continue to see it disregarded and destroyed.

## THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES, COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!

Revision is needed for existing residential safety. The exit road off Harvest & Blossom is already a problem with some improvement but this will be an intensified issue. Do not put that road through Harvest. <sup>to Westview</sup> more on the back →

3. If you would like to, please provide any detailed comments below:

The road proposal going through Harvest Drive is a big issue. It is a residential street with children playing in the street (riding bikes street hockey etc.) because there are NO parks in the area for them to play. Opening the road will create a huge chance for car/children dashing out - injuries. Devon Falls needs to be protected. People throw away garbage from their cars - Contamination

# THANK YOU!

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## COMMENT FORM



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YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!

NO THROUGH RD BY DEVON FALLS  
ONTO HARVEST DR.  
EVEN THE INTERSECTION OF HARVEST + WESTVIEW  
IS A INTERSECTION THAT YOU HAVE TO USE EXTREME  
CAUTION FOR UP + DOWN HILL TRAFFIC.

ABBOTSFORD

more on the back



3. If you would like to, please provide any detailed comments below:

PROPOSED RD CONVERTING TO HARVEST DR WILL BE A MAJOR  
ISSUE. AS IT IS NOW THERE IS NO PLACE EXCEPT FOR THE  
STREET FOR CHILDREN TO PLAY, AS THERE ARE NO NEARBY PLAY GROUNDS/  
PARKS. THE PROPOSED PARK IS WELL INTO THE DEVELOPMENT  
and will NOT BE EASY ACCESS FOR CHILDREN IN THE EXISTING SUB/DIV.  
MOVE PARK TO THE DEVON FALLS AREA AND MAKE THE ROAD  
DEAD END. THERE ARE OTHER EXITS. HAVING ADDITIONAL  
TRAFFIC ON HARVEST WILL POSE A DANGER. ALL SO SAFETY + PARKING,  
THIS THROUGH RD ONTO HARVEST IS AN ACCIDENT WAITING TO HAPPEN

# THANK YOU!

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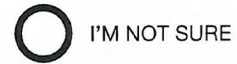


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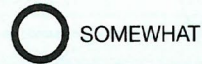
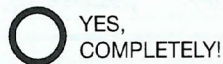
## COMMENT FORM



1. Are you a resident of the Plan Area?



2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



3. If you would like to, please provide any detailed comments below:

Hiking + biking trails are an intrigal part of our community. The trails that are being removed are the most used in the area. Harvest Drive ends near the top of Dever Falls, the plan is to continue Harvest thru to the new developement. This water way will be majorly impacted by building a bridge, ~~over the waterway~~.

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# DRAFT MCKEE NEIGHBOURHOOD PLAN COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

We are a young family that enjoys the outdoors. We recently moved to Augustown. Our 3 boys didn't care at all about the house we moved in to as long as it was close to Ledgview for Mountain Biking. They are on that mountain at least 3-5 days of the week enjoying the trails. My wife and I like and run the trails as well. This development will affect our entire family in a negative way.

## THANK YOU!

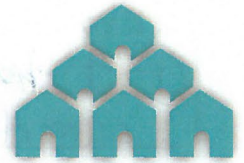
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1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

- ① 4 ~~lane~~ lane street on McKee is not a good idea currently there is a lot of speeding - this may increase it.
- ② The corner of McKee and Whatcom = There are old growth rhododendrons planted by Dr. McKee himself that need to be protected. A 4 lane street would not be good for the health of the rhodos & the safety of the children at Prince Charles Elementary.

## THANK YOU!

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?

☐ YES

☒ NO

☐ I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☐ YES, COMPLETELY!

☐ MOSTLY

☐ SOMEWHAT

☒ NOT REALLY

☐ NO WAY!



3. If you would like to, please provide any detailed comments below:

We recognize that development is going to happen, however it does not seem that enough space is being reserved as wild trail corridors. Furthermore, most of the areas with views are in the areas to be developed. There needs to be clear commitment to keeping sufficient unmanicured trails - viewpoints, caves, summit, etc

# THANK YOU!

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1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

Very disappointed to hear there has not been more steps to maintain more trail network; or work to commit other areas (Guma's back-side of Ladgewood) for single track trails. These trails are VITAL to our health (physical + mental) to our community. These trails are used daily by our family (MT biking hiking). These trails are why we live in this community. This will have a lasting impact on our community pulse. Commit to our health. Commit to natural trail networks. Commit to working with FUMBA!!!!

# THANK YOU!

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1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

The loss of single track wild ~~area~~ trail is significant. This trail system, yes on private land has served our community for years and it will be sad to see it go. It is important that this development doesn't end up becoming like Eagle Mountain- an embarrassment to Abbotsford how that mountain was developed I would like to see the geotechnical areas protected by the city. That would allow a more reasonable amount of trails to be protected and saved. Listen to the people!!! Thank you for your time.

# THANK YOU!

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YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

The loss of the only natural trail area in Abbotsford is really sad. We need areas in our community where people can exercise with their family and friends. Variety in the trails and natural areas is needed. Please try not to overcivilize this area. Keep it as natural as possible.

# THANK YOU!

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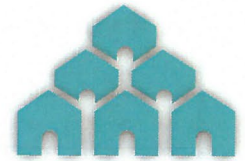
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## COMMENT FORM



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☒ YES

☐ NO

☐ I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☐ YES, COMPLETELY!

☐ MOSTLY

☐ SOMEWHAT

☒ NOT REALLY

☐ NO WAY!



3. If you would like to, please provide any detailed comments below:

- more forest could be preserved
- preserve single-track trails
- don't clear cut years or decades early
- value natural landscape over manicured.
- Do not build or clear sketchy geotech areas
- replace lost trail infrastructure with recreational forest area.
- trails like these have high tourism value.

# THANK YOU!

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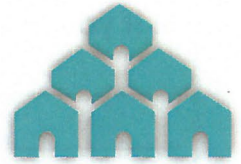
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p: 604-864-5510 e: mcomb@abbotsford.ca

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# DRAFT MCKEE NEIGHBOURHOOD PLAN

## COMMENT FORM



1. Are you a resident of the Plan Area?



YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

*Too questionable of an area  
There must be other land to use.*

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

I don't feel like the development has a respect for what they are giving up in the trail network. It is a World Class trail system where I meet people from all over the world. The trails and mountain are undervalued by the council and the tourism they bring.

I live in Abbotsford because of the trails → Those trails which will be destroyed by this plan.

# THANK YOU!

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I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

terrible plan to lose all those trails that were built  
grass roots by members of this community. The City should  
try to purchase some of the land to preserve the  
trails. Most of the land ~~is~~ being preserved is too steep  
for young families. When the COVID pandemic hit + the City  
closed all the parks, all the kids played in the beautiful  
Ledgeview forest. Please re-consider + save Ledgeview forest.

# THANK YOU!

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return it by May 30, 2022, at 9:00am to:

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YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

there is too much growth+development in our community which is why I moved to this area there is no need for MORE housing - detached or not detached. there is no need for parks - the entire area is a park, leave it as is vs. creating more roads, parking lots + concrete - focus on how to decrease our city's environmental impact and net zero.

## THANK YOU!

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YES



NO



I'M NOT SURE

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YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

- too much traffic - pushing ppl. out to bring ppl in is wrong  
- creating more negative impact to nature and our existing eco-systems

# THANK YOU!

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YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

*we need this space*

## THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

Please please please  
preserve the trails. We need these  
wild spaces for mental health,  
physical health and our  
community's needs.  
Do this for our children. For our city.  
Please make a difference.

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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YES



NO



I'M NOT SURE

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YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

Please do not develop these trails. They are so nesseeary for the mental, physical & emotional health of the residents of Abbotsford.

I love these trails. They are so breathtaking and they provide an escape into the woods in our own back-yards. I think that developing these trails would a huge mistake and a huge loss for the community. Houses come, and go, but these trails, this wildlife & nature will grow. It will stay forever.

## THANK YOU!

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☐

YES

☒

NO

☐

I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☐

YES,  
COMPLETELY!

☐

MOSTLY

☐

SOMEWHAT

☐

NOT REALLY

☒

NO WAY!



3. If you would like to, please provide any detailed comments below:

I love the trails and ~~and~~ the beauty they have.  
It is awesome for mountain biking, running, and hiking.

## THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

I do not support this development! That land is beautiful and wild and more than any house! It gives people a chance to let go, and feel safe. To exercise the bodies we've been given and enjoy the world God made. Because in the beginning God looked at all he had made and said it was good. That did not include the houses you are about to build.

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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YES

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NO

☐

I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☐

YES, COMPLETELY!

☐

MOSTLY

☐

SOMEWHAT

☐

NOT REALLY

☒

NO WAY!



3. If you would like to, please provide any detailed comments below:

Do not break the forest  
because it is a sam and pepol  
need exercise. Jane?

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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YES



NO



I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?



YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY! !



3. If you would like to, please provide any detailed comments below:

THIS IS GOING TO BE BURKE Mnt all over again.  
WHAT ABOUT THE WILD LIFE? Keep our mountain  
GREEN! STOP BUILDING!!!

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

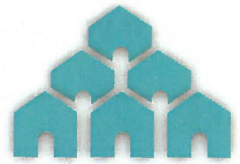
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YES



NO



I'M NOT SURE

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YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

I'm 6 years old. I love going on trails  
with my family. Please keep trails  
and wild space. It's good for us.  
KIP, age 6.

Please let the animals live in the forest.

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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1. Are you a resident of the Plan Area?

☐

YES

☒

NO

☐

I'M NOT SURE

2. Do you support the vision & direction for the neighbourhood presented in the draft plan?

☐

YES,  
COMPLETELY!

☐

MOSTLY

☐

SOMEWHAT

☐

NOT REALLY

☒

NO WAY!



3. If you would like to, please provide any detailed comments below:

please keep trails for me and my future generations.  
I love those trails and the beauty around them.  
keep them as they are!

# THANK YOU!

Please place your completed comment sheet in the comment box, or return it by May 30, 2022, at 9:00am to:

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YES



NO



I'M NOT SURE

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YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

You should've had an  
actual community engagement  
session; this felt like a  
sales pitch. Shameful.

## THANK YOU!

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YES,  
COMPLETELY!



MOSTLY



SOMEWHAT



NOT REALLY



NO WAY!



3. If you would like to, please provide any detailed comments below:

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## THANK YOU!

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YES

☐

NO

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☐

YES,  
COMPLETELY!

☐

MOSTLY

☐

SOMEWHAT

☐

NOT REALLY

☐

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THANK YOU FOR

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Abbotsford Trail Running Club  
PO Box 472 A-33771 George Ferguson Way  
Abbotsford, BC V2S 2M5  
abbotsfordtrailrunningclub@gmail.com

Mitch Comb  
Senior Planner, Community Planning  
City of Abbotsford  
32315 South Fraser Way, Abbotsford, BC V2T 1W7  
[mcomb@abbotsford.ca](mailto:mcomb@abbotsford.ca) || 604-751--0006

May 12, 2022

Good afternoon Mitch,

As President of the Abbotsford Trail Running Club, I attended the stakeholder information session on March 22, 2022 regarding the *McKee Neighbourhood Plan - Stage 3 Trail Policy Development*. Together with the Fraser Valley Mountain Biking Association and on behalf of a host of current trail users made up of hikers, runners, bikers and nature enthusiasts of all ages, we want to be involved in this project.

As we stated during the meeting, we are asking the City of Abbotsford to partner with our organizations and create a **Trail Advisory Committee**, like other municipalities already have (e.g., Cumberland, Chilliwack, Whistler). This committee would be composed of city staff, councilors, representatives from FVMBA, FVRD, and other community stakeholders who are interested. Our organizations have much to offer:

- Trail building and design expertise;
- Broad membership bases
- Connection and communication channels with trail users in our community; and,
- Passionate volunteers who put hours of work into trail maintenance and stewardship.

We believe that together, we could work with the City of Abbotsford on:

- Designing a logical, functional trail system
- Preserving multiple trail corridors that offer peaceful use of the trail system by multiple user types.
- Communicating with trail users during development
- Conceptualizing a citizen-assisted maintenance plan through a partnership with our organizations.

We understand that McKee Neighbourhood will be developed, but let's do it with care. A few other points we wanted to reiterate.:

- **Prioritize retaining world-class single-track trails**  
There are currently 120 trails on McKee Peak, primarily world-class singletrack trails, which attract people of all ages to enjoy biking, hiking and trail running who share the trails. These trails are a true gem that locals highly value and could be a huge tourism



asset. These cannot be replaced with just one corridor of trails or with gravel pathways, which our city offers in many locations already such as Willband Creek, the Discovery Trail and dykes.

- **Preserve natural spaces**

Proceed with caution when selecting and clearing land for development. Natural spaces like this enhance the character of the region and attract residents who want to enjoy a healthy lifestyle. Preserve natural spaces along the ridge at the top, where the current plan specifies multiple parks that will require expensive maintenance. The more of this area you can keep as natural forest and community trail (picture Mount Thom), the more ecosystem is preserved and the more opportunity for people, wildlife, birds, wildflowers, etc. to coexist.

- **Compensate for developed area by allocating more land for trail use**

Like Cumberland has done with their community forest, and Chilliwack is looking to do with Little Mountain, identify another area that can be allocated for trail development. Invest in the growing popularity of outdoor fitness rather than more costly indoor infrastructure.

Best regards,

*Nancy Hildebrand*

**Nancy Hildebrand, President**

**Abbotsford Trail Running Club**

**Along with the Board of Directors:**

Alan Mijinke

Eric Keillor

Denise Craig

Mike Thomas

Casey Rempel

Tabitha Mann

Rachelle Skoronski

Mark Wessner

Carlos Zamora

Trevor Savage

Mitch Comb  
Senior Planner, Community Planning  
City of Abbotsford  
32315 South Fraser Way, Abbotsford, BC V2T 1W7

May 26, 2022

Destination BC, a provincial Crown corporation, leads the marketing of British Columbia as a visitor destination and promotes the development and growth of the provincial tourism industry. The Vancouver, Coast & Mountains region, which is managed by Destination BC, offers destination development planning assistance, in partnership with Indigenous Tourism BC and various provincial Ministries to support the ongoing viability of BC's tourism sector. The *Fraser Valley Destination Development Strategy* is the result of a 21-month, iterative process of gathering, synthesizing and validating information with over 100 tourism partners about the current status and future direction of tourism in the valley.

The *Fraser Valley Destination Management Council* has endorsed the *Fraser Valley Destination Development Strategy* and has come together to collaboratively implement the various objectives. The strategy sets out a bold vision that brings communities in this region together to work on ensuring the destination is relevant to residents and visitors and grows, and is managed, responsibly over the next 10 years.

We understand that the City of Abbotsford is undertaking a *McKee Neighbourhood Plan* to develop a vision for a new residential neighbourhood centre that connects with parks and trails. We know that municipal trail systems play a critical in all the communities of the Fraser Valley, particularly in encouraging dispersion. Ensuring the McKee trail system remains a viable destination for outdoor enthusiasts ensures that even more people are not forced into already crowded spaces in the Valley.

The Fraser Valley Regional District (FVRD) conducted an economic impact analysis of outdoor recreation in 2019 and found that hiking/trail running, walking/dog walking, and mountain biking were among the top outdoor activities. As the study summarized "With over 7 million recreation days registered in the region in 2019, and over \$948 million in direct spending on outdoor recreation by residents and tourists, the FVRD must be considered a bona fide outdoor recreation destination. The diversity of activities, relative lack of crowding, and world-class recreation assets all suggest there is a strong opportunity to sustainably manage outdoor recreation in the region. This will provide ongoing opportunities for economic development, improved quality of living and health outcomes, as well as a sense of pride amongst the region's residents.

Source: [www.fvrd.ca/EN/main/about-the-fvrd/projects-initiatives/outdoor-recreation.html](http://www.fvrd.ca/EN/main/about-the-fvrd/projects-initiatives/outdoor-recreation.html)

The *McKee Neighbourhood Plan* relates to themes and specific priorities identified within the *Fraser Valley Destination Management Strategy*. For example,

- Theme 3 is specifically related to mountain-based experiences and includes:
  - protecting developed mountain biking trail systems in Abbotsford, from logging and residential development
  - protecting Sumas Mountain for recreational purposes and against future industrial development (page 42)

On behalf of the Fraser Valley Destination Management Council, we encourage the City of Abbotsford to work closely with local trail user groups and tourism partners to ensure the protection of key recreational assets in the McKee Neighbourhood area.

Thank you,



Laura Plant

Destination Management Advisor, Vancouver, Coast & Mountains (Managed by Destination British Columbia)

*Disclaimer:*

*This letter does not necessarily reflect the opinions of the individual associations/organizations represented on the Fraser Valley Destination Management Council.*



Mitchell Comb  
Senior Planner, Community Planning  
City of Abbotsford  
32315 South Fraser Way  
Abbotsford, BC V2T 1W7

May 27, 2022

Hello Mitchell,

We understand the city's vision for McKee Peak includes designing a neighbourhood that will 'enhance the existing outdoor recreation network on the mountain.' As noted in the city's stage 2 concept report, 'enhancing outdoor recreation' is one of the 4 key principles for the McKee Neighbourhood plan. On behalf of the team at Tourism Abbotsford, I am writing you to confirm our support for this key principle and vision, including the City's stated desire that the area is the 'adventure hub of Abbotsford, making it a focal point driving recreational tourism and increasing the economic viability of commercial businesses.'

While we are thrilled to see that recreational tourism is recognized in the plan, we are disappointed Tourism Abbotsford hasn't been included in stakeholder engagement sessions so far. As the destination marketing and management organization for Abbotsford, our team possesses knowledge and awareness of the tourism industry and of the region that can be helpful in planning of outdoor recreation activities.

As part of the Fraser Valley Destination Management Council, Tourism Abbotsford works closely with neighbouring tourism organizations on implementing the 10-Year Fraser Valley Destination Development Strategy. Additionally, we work together to promote visitation to the region and often feature the world-class outdoor adventure the Fraser Valley has to offer in our marketing.

We would love the opportunity to meet with you and/or other city staff to discuss outdoor recreational tourism and the shared 10-year destination development strategy that has been developed for our region.

**Tourism generator** - The demand for hiking, biking and running activities has exploded the past couple of years as people sought out wide-open spaces for both physical and mental health reasons during the pandemic. This demand has made it abundantly clear that outdoor recreation generates significant tourism-related economic activity as people often explore trails in communities outside of their own.

As a highly regarded outdoor recreation asset – with over 120 informal trails and over 50,000 trail users per year - McKee Peak plays an important role in helping attract visitors to Abbotsford. Visitors who spend money on food, beverage, lodging, gas, retail and other activities while here.

This aligns with the city's Stage 3 plan which sees the future McKee functioning as a community gathering place and destination, including shops, restaurants, cafes and services (pg 31). Functioning as a destination won't happen, however, without the right mix of trails. While having meandering trails will be great for some residents, without trails that cater to mountain bikers and avid hikers, McKee won't have enough of the right experiences to attract people from neighbouring communities.

**Dispersion** – foundational to our destination development strategy is the need to work collaboratively to ensure the region grows responsibly. As part of responsible growth, we must all work together to ensure the region does not suffer from overcrowding in certain areas, at certain times of year. We know that municipal trail systems play a critical in all Fraser Valley communities, particularly in encouraging dispersion. Developing McKee into a viable destination for outdoor enthusiasts will help ensure that people are not forced into already crowded spaces in the Valley in future years.

**Trail Advisory Committee** – with limited resources and time, collaboration has never been more important. We point to the destination marketing and management work with our Fraser Valley colleagues as an example of this. Our group understands we are stronger (and smarter) when we work together.

With this in mind, we encourage the city to develop McKee collaboratively through implementing a Trail Advisory Committee. Not only is there a tremendous amount of passion and care for our natural environment within local user groups, but there is also an ability to mobilize and engage with a broad base of people. Through establishment of an advisory committee, the city can leverage the expertise and efforts of residents harnessing the noted benefits to help ensure we have a functional trail system in the future.

Like others, we understand that development of the McKee area is inevitable. Our ask is that development is done with care and with the help of others to ensure outdoor recreation is a viable tourism activity in Abbotsford for years to come

Best regards,



Craig Nichols, Executive Director

Tourism Abbotsford Society

778-549-7258 : [cnichols@tourismabbotsford.ca](mailto:cnichols@tourismabbotsford.ca)

Cc: *Daniel Laverick, Board President, Tourism Abbotsford Society*

June 02, 2022

Mitchell Comb MEDes, MCIP, RPP  
Senior Planner, Community Planning  
City of Abbotsford  
Planning & Development Services  
32315 South Fraser Way  
Abbotsford, BC V2T 1W7

**Subject: McKee Neighbourhood Concept Response**

Dear Mr. Comb,

On behalf of the property owners, Auguston Town Development Inc. (ATDI), O2 respectfully submits a formal letter in response to the McKee Neighbourhood Plan (NP). This letter is a follow up letter to that we sent you on March 24, 2022, which we have yet to receive a response, and outlines concerns with the proposed policies and guidelines of the NP and emphasizes how the McKee NP in its current form will negatively impact the developability of the Plan Area including lands owned by ATDI.

It is clear the Draft McKee Neighbourhood Plan has remained identical to the Draft NP Report, envisioning a homogenous low-density development, focused on increasing open space through unnecessary land dedication and limiting the developability of landowners. The proposed land use designations and accompanied policies and guidelines severely restrict intensification with limited density permitted in the McKee Village.

It is also evident all previous input towards the draft NP provided by ATDI and their consultants has been ignored by the City of Abbotsford. Given ATDI is the primary landowner of the McKee area, it is extremely disappointing that the creation of the McKee NP has not been a collaborative process that considers ATDI's vision for their lands.

The NP has created a development vision centred around the proposed Adventure Hub, creating land use policies and development permit guidelines which do not consider the development vision of ATDI. Prescriptive policies and guidelines severely limit the developability of ATDI's private lands, instead crafting a self-serving vision without knowledge of active development applications. The proposed policies and guidelines stifle any opportunity to present creative solutions to development challenges and effectively deter ATDI from advancing development on their land. Both land use policies and guidelines of concern focus on the entire Plan Area, with particular interest on proposed land use designations and design guidelines imposed on ATDI lands. Collectively the proposed plan imposes restrictive design creating a rigid checklist of compliance for future development within the village and wider plan area. It is difficult not to interpret this as a deliberate effort to limit the developability of ATDI's land in the McKee area, a blatant display of a lack of planning professionalism on the part of the Administration, or both.

**McKee Neighbourhood Plan Land Use Policies**

Proposed land use policies promote low density, suburban development and do not account for the development vision of ATDI as well as impose strict development requirements should ATDI advance development in the future. The central vision of the McKee NP focuses on creating an Adventure Hub on ATDI lands. Detailed policies around commercial development (Policy 3.1), building height (Policy 3.5) and others promote the vision of Administration without consideration for the development vision of ATDI.

Proposed land use categories: McKee Village, Neighbourhood Centre, Urban 2 - Ground Oriented and Urban 4 – Detached support only low density suburban development and devoid of character and economic growth opportunities (p. 24/25). The lack of density permitted severely restricts the developability of ATDI's lands, impacting the economic viability of future development on private lands. Imposing strict land use policies without knowledge of future development jeopardizes land use objectives focused on diversifying the housing stock and supporting unit variety (Policy 3.5, 3.9 & 3.14). Very often higher density developments facilitate affordable housing through the provision of



smaller units, economically accessible to a wider socio-economic demographic (Policy 3.16). However, this NP is focused on supporting minimal density at the cost of providing appropriate and affordable housing options and diversity.

The proposed residential designations of Urban 2 – Ground Oriented and Urban 4 – Detached impose Administration's development vision on ATDI lands without input on behalf of ATDI (p.24/25). Furthermore, the Urban 2 – Ground Oriented land use designation restricts density and prevents large parcels of land (greater than 1 ha) from developing multi-family housing. Given the affordability crisis, ATDI recognizes there is an opportunity to diversify the housing stock to accommodate individuals at various stage of life (Policy 3.13). This policy limitation prevents ATDI from providing affordable housing options to existing and future residents, ultimately exacerbating the housing supply issue.

Commercial land use policies have imposed inappropriate design policies on ATDI, designing the McKee Village without landowner input. Design policies focused on retail scale, patio location and street furniture are highly detailed and should be reserved for discussion in tandem with an active development application (Policy 3.1, 3.3, 3.4 & 3.11). Those policies create a blanket approach to a privately owned parcel of land and lack significance without consideration for the development vision of ATDI. Map 4 identifies the proposed area to support a future commercial street, located haphazardly at the end of a dead-end street raising safety and connectivity concerns. The proposed commercial street should be centralized one block north within an activity node and easily accessible to ensure maximum exposure for businesses. Policy 3.1 fails to consider the dead-end street, and represents another example where Administration does not respect landowners and instead have made premature design decisions without consideration for ATDI's development vision and without waiting for an active development application to inform a design discussion.

Large areas of ATDI land are prematurely designated 'Open Space' (See Map 3 Land Use). The McKee NP strives to designate as much of ATDI's private land as possible to grow the open space network and create wildlife linkages at the cost to ATDI (Policy 3.22 & 3.34). The land use policies lack the legal information to acquire additional parkland beyond 5% for lands deemed 'undevelopable'. Furthermore, areas of environmental concern, such as Habitat Hubs, have been identified for both preservation and development (Policy 3.22). This strategy creates a development challenge for ATDI where the NP represents two contradictory policy directions which have grave impacts on the developability of ATDI lands. To exacerbate the issue, additional environmental setbacks and considerations are imposed on ATDI and other landowners without knowledge of the ultimate design and development intent for the area (Policy 3.30 & 3.40). Imbedding restrictive land use policies without an understanding of the development vision, design intent and end use imposes additional development considerations onto ATDI which could very well result in no development, and no open space dedication at all.

Administration is not only severely reducing the developability of ATDI lands through land use density, but Administration is also designating and designing large areas of private land to support an extensive trail network (Policy 3.41, 3.57 & 3.66). Map 14 identifies significant trail development planned on ATDI lands. If extensive trail development is deemed appropriate, it is reasonable to consider the land is likely suitable for development. Conducting a future trail study on predominantly private lands, whereby a future end use has been proposed does not generate confidence landowner input will be received and included in the ultimate strategy (Policy 3.55). Designating large areas of ATDI lands for open space is premature and inappropriate without an active development application and demonstrates intention to control private lands.

Several school sites, park locations and a fire hall are proposed on ATDI lands (See Map 6). School and park distributions have not been identified in consultation with ATDI and other private landowners, demonstrating yet another example this plan is grounded only in Administration's vision for the neighbourhood (Policy 3.24, 3.25 & 3.26). Several parks are proposed in areas planned for low density development, directly contradicting guideline 3.49, encouraging parks to be located near higher density land uses to maximize accessibility for the most residents. Future park, school and fire hall sites should be identified near the highest density to capture the highest pupil yield and maximize the community benefit for park space and emergency services (p. 21 & 32). Intensification near parks and schools increases the watershed catchment enabling children to walk to school, encourages active travel, reduces unnecessary automobile driving and supports the creation of walkable, complete communities.

The proposed community park located on ATDI lands near Sumas Mountain Road is inappropriate given the lack of connectivity to the green network and rest of the community (Map 11 Green Network). Community Parks should be

designed with good pedestrian connections to serve the visual, physical and social focus of the community instead of designed on the edge of the site (Policy 3.26). The proposed fire hall location near Sumas Mountain Road is also inappropriate given it is proposed on ATDI lands. Close proximity to fire hall stations enables quicker response times, allowing personnel to access emergency situations in a timely manner. Park, school and fire hall locations must be discussed with ATDI and other landowners to ensure appropriate locations are selected to provide the highest benefit and create the most support in areas of high population.

All in all, the NP land use policies appear intended to expropriate and control privately-owned land for a self-serving vision driven by the Administration without ATDI's consent or input. No rational landowner will be motivated to realize the NP land use plan if 40% of their lands are made undevelopable. This is a sure way to ensure the proposed housing, retail and amenities will never be built, and to reinforce the perception that Abbotsford is closed for business.

### Transit and Road Networks

The future transit corridor proposed along the McKee Road is not appropriate given the limited understanding of the ultimate design of the McKee Village on ATDI lands. Ultimately, the transit corridor requires increased density to support sufficient ridership. The current Neighbourhood Structure Map 2 identifies the surrounding area for low density development and green space. To create an efficient and utilized service, the corridor should be extended on the primary road network to increase the catchment area for potential transit riders. Furthermore, predominantly low-density land use designations often encourage automobile dependency, as is currently evident in the McKee NP today. Future discussions are required with ATDI to understand their development vision for the McKee Village area before committing resources to a route currently planned on private land. Without this communication, Administration is proposing a transit corridor which is unlikely to be developed.

### McKee Village Guidelines

The McKee Village represents the only activity node in the NP and plans to accommodate six-storey development. The development guidelines design the entire village, restricting density and limiting the development potential of ATDI's lands. The site context section strongly encourages compatibility and continuity in all aspects, eliminating a creative response to address the scale and design of buildings, landscaping and streetwall interface (MV2, MV3, MV4). The site context guidelines demonstrate a lack of respect for ATDI by imposing prescriptive design rules without an understanding of the landowner's development vision or design intent.

Site Planning guidelines apply a high degree of detail and design requirements without the context of future development application(s). Implementing minimum pathway depths for walking/ cycling connections imposes premature design requirements to an entire area without consideration for ATDI's vision for open space and active travel (MV7 & MV8). Guidelines focus on enabling views (MV12), bicycle parking (MV15) and public overlook (MV14) promote Administration's vision for the Village Area and devalue the development vision of ATDI. The inflexible guidelines restrict ATDI from creating an appropriate design response, imposing prescriptive rules without reviewing a design concept or proposal.

Building design guidelines are very detailed and impose strict requirements regarding what is and is not considered appropriate within the McKee Village. The ultimate design, proposed building materials and architectural vision should be prepared by ATDI at the time of an active development application and not appropriate without consideration of a development vision and application (MV26 & MV27). Eliminating building materials such as vinyl siding is premature and inappropriate without appropriate justification related to a development application. Building setbacks, rooftops and residential ground floor setbacks are important discussions to have with ATDI at the development permit stage when a proposed concept can inform the design discussion (MV31, MV32 & MV33).

Landscaping and lighting guidelines should be reviewed on a site-specific basis in tandem with active discussions with ATDI. A tailored landscaping response is required to address tree retention, ensure an appropriate tree canopy, and to promote the protection of native species (MV41, MV42 & MV43). Lighting is a highly useful tool to promote safety and visibility and should be designed in tandem with ATDI to ensure consistency with their development vision. Detailed requirements such as the height of pole mounting lighting (MV47) should be revised to maximize flexibility to respond to the future lighting needs within the McKee Village.

The current McKee Village guidelines have been prepared without consideration of ATDI's input, and represent inflexible, inappropriate, and misleading design rules thrust upon ATDI to impose Administration's vision for the McKee Village.

### Steep Slope Guidelines

The intent of the slope guidelines is to provide high level direction for future development in areas with challenging slope and topography. Several guidelines prematurely limit development potential and overgeneralize technical requirements without the appropriate supportive study. For example, the dedication of setbacks in proximity to sloped lands should not be a condition of development imposed in this document. Land dedications are specific to each development application and are more appropriately addressed with a specific parcel of land and the intended development vision. In addition, limiting building height and lot configuration based on adjacent natural features severely jeopardizes the developability not only on ATDI lands but in many locations within the Plan Area (MSS37 & MSS37). Without local context of an active application and the development vision for a particular site, the guideline represents an overgeneralization which is not appropriate for a high-level document (MSS33 & MSS36).

### Commercial Development

Commercial development guidelines in the McKee Village are highly prescriptive, imposing strict metrics which are premature and not connected to a development vision. Guidelines include metrics regarding glazing requirements on windows (MV54) and maximum heights for at grade entrances (MV53). The proposed DP guidelines impose specific design rules, eliminating the creativity of the development process to design vibrant, engaging commercial spaces. The detailed nature of the guidelines effectively creates a checklist whereby ATDI must design commercial spaces to include the 3.0 metre maximum setback for outdoor seating (MV55) and ensure a 2.0 metre weather protection strip (MV58) in order to receive the City's stamp of approval. Effectively, these requirements remove the participation of ATDI from the entire design process, pre-selecting a vision for the area and then ensuring it is funded by ATDI. But why would ATDI or any reasonable landowner fund such commercial development? We are left with the impression that the Administration fundamentally does not understand market economics or land development and is content to develop a theoretical plan that will sit on a shelf without ever being built.

### Conclusion

The proposed McKee Neighbourhood Plan has been developed without any consultation with ATDI and imposes highly prescriptive land use policies and development guidelines which effectively strip ATDI from all opportunity to shape the ultimate design and end use of their private property. The land use policies on ATDI lands severely limit the developability of the McKee Village Area, restricting density in all land use designations including eliminating multi-storey housing development for large parcels designated Urban 2 – Ground Oriented. Large portions of ATDI lands are designated for open space, imbedding policy to restrict private development to increase publicly owned open space. Grand plans to enable trail development on ATDI lands are inappropriate and suggest that the Administration is focused on advancing a singular vision at the cost of private landowners. As an added layer of prescriptive language, the development permit guidelines imbed inflexible design rules which read as a long checklist of requirements ATDI will have to adhere to, removing any opportunity for a tailored design response and developer input. As the landowner of the McKee Village lands, ATDI will be rendered powerless to include substantial design considerations should they develop the village lands in the future.

Overall, the Draft McKee Plan lacks creativity and ambition to plan for the required 25% of new growth in Abbotsford in an economic and strategic manner. The plan area supports limited land use designations, encouraging low density development and open space, an inappropriate response in the name of good planning and design. Diverse land uses are required to achieve high quality living, supporting a variety of individuals at varying income levels and stages of life, providing access to employment and attracting new migrants and individuals of working age. The proposed neighbourhood plan serves a small portion of Abbotsford residents and stakeholders who do not live or own land in the area, does not account for ATDI's vision for the McKee Neighbourhood, and will never be built.

If the McKee NP is – as it appears – a politicized and illogical effort to torpedo any form of a tech hub that focuses on agritech from ever being built in the McKee area because of concerns that a tech hub in the McKee area will compete

with development in the downtown core, that is a political bias that is founded on unsubstantiated information and has no solid basis in planning best practices. This political bias will hurt the long-term prospect of the agricultural sector in Abbotsford and the local economy more broadly, while serving to benefit municipalities like Surrey, Chilliwack, and Mission that are making serious and constructive efforts toward economic development.

It is unfortunate that applications such as the recently withdrawn OCP Amendment (PJR21-193) have been unsuccessful at shifting the conversation from creating a bedroom community to a vibrant, mixed-use community. The lack of genuine engagement towards ATDI in the drafting the McKee NP is highly disappointing. Landowners who own sufficient land holdings to impact and ultimately implement the future developability of the neighbourhood have been deliberately ignored, silenced, and marginalized throughout this process. The result is that the Administration is wasting time and taxpayer dollars advancing a vision that will never be built.

We respectfully request Administration provide an immediate response to our previously submitted correspondence regarding the Draft McKee Neighbourhood Concept Plan dated March 24, 2022 as well as our comments on the McKee NP detailed in this letter.

We look forward to continued engagement with the City of Abbotsford regarding the McKee Neighbourhood Plan in the future.

Sincerely,

O2 Planning & Design Inc.

A handwritten signature in black ink, appearing to read 'B.H.', with a stylized flourish extending to the right.

Brian Horton, RP, MCIP  
Principal  
O2 Planning & Design Inc.

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**From:** Gregory Kenny <gregoryakenny@hotmail.com>  
**Sent:** Monday, May 30, 2022 9:02 PM  
**To:** Blake Collins <BCollins@abbotsford.ca>; Mitchell Comb <mcomb@abbotsford.ca>  
**Cc:** Christine Batchelar <cbatchelar@abbotsford.ca>  
**Subject:** \*\*\*\*Revised\*\*\* Stage 3 - Draft McKee Neighbourhood Plan

Hi Blake, Christine & Mitch,

Following the submission of my email on May 28, 2022, our group had further discussions with our partners at Wedler Engineering, Morningstar Homes and the Voth group.

After careful consideration, the Kenny group would like to revise our **May 28**, 2022 submission with the addition of a couple more comments/concerns, which I have highlighted (below) for your review.

We appreciate your consideration with respect to the aforementioned concerns and we look forward to discussing this further with you shortly.

If there is anything I can do to help, or any further information I can provide, please do not hesitate to ask.

Kind Regards,

Greg Kenny

Trustee

Director  
Fraser City Investors Ltd.

**From:** Gregory Kenny <[gregoryakenny@hotmail.com](mailto:gregoryakenny@hotmail.com)>

**Sent:** May 28, 2022 12:17 PM

**To:** Blake Collins <[BCollins@abbotsford.ca](mailto:BCollins@abbotsford.ca)>; Mitchell Comb <[mcomb@abbotsford.ca](mailto:mcomb@abbotsford.ca)>

**Subject:** Stage 3 - Draft McKee Neighbourhood Plan

Hi Blake & Mitch,

Thank you so much for the great presentation and dialogue on May 18 at the McKee Neighbourhood Plan - Stage 3 Draft Plan Review Landowner Meeting.

We hope that the rest of your meetings with stakeholders went well!

The Kenny group is supportive of the McKee Neighbourhood Plan and is grateful for all the hard work by yourselves and our other partners at the City of Abbotsford.

Since the May 18 Landowner Meeting, our group has had the opportunity to hold "debrief" sessions with our partners at Wedler Engineering, Morningstar Homes and the Voth group.

While the consensus at all our debrief sessions was supportive of the McKee Neighbourhood Plan, the Kenny group has a few concerns which we encourage the City of Abbotsford to revisit prior to the completion of Stage 4 - Final McKee Neighbourhood Plan.

1. Based on substantial supporting evidence provided by our partners at Wedler Engineering, the "Fixed Access Points" on the Road Network, and parts of the Road Network itself, still do not work. While this is an improvement over previous iterations, we suggest changing terminology to "Potential Access Points" or "Possible Access Points" or allowing "Access Points" to be adjusted within a "Box" to provide enough flexibility so that our engineers can make the roads work. Additionally, the Road Network currently depicted on Kenny lands on McKee Road (PID: 009-640-002) encroaches upon environmentally sensitive areas and renders this property completely undevelopable. Please expect evidence in support of this request to be delivered by Glen Darychuk of Wedler Engineering.
2. Given the Kenny group's long timeline for the development of our lands depicted in Service Phase G and Service Phase H, we believe that the proposed Phasing Plan does not work and will unnecessarily impede and delay the development of lands held by our neighbours Morningstar Homes, the Voth group, the Boffo group and our own neighbouring lands in Service Phase I. We suggest allowing the development of



surrounding lands prior to development of Kenny lands held in Service Phase G and Service Phase H. Please expect evidence in support of this request to be delivered by Glen Darychuk of Wedler Engineering.

3. The school site currently depicted within Service Phase H requires further discussion between the City of Abbotsford, the Abbotsford School Board, Morningstar Homes, the Voth group and the Kenny group. Given the collaborative approach taken to date, we believe that achieving consensus on a school site is possible. However, given that at present there is no clearly defined process for securing the school site currently depicted on Kenny lands within Service Phase H, we must officially object to the placement of the school site on Kenny lands and formally request that the school site be removed from lands under our ownership and/or control.
4. We remain opposed to blanket limitations preventing the construction of four-story condo buildings within Urban 2 designated lands. As we understand it, your primary rationale for this blanket limitation is that four-story condo buildings would obstruct views or negatively impact the aesthetics of the McKee Peak community. We would encourage you to do further, substantive, research on this including a visit to Garrison Crossing in Chilliwack/Sardis to see how seamlessly four-story condo buildings can be integrated with three-story townhouses and row homes. Additionally, we have come up with a growing list of "positives" for allowing the construction of four-story condo buildings, including:
  - Allows a wider range of household incomes and demographics to have access to homes and outdoor lifestyle on McKee Peak.
  - To achieve minimum required housing density, nearly all housing currently designated on the McKee Neighbourhood Plan will have three levels within each housing unit. This means there will be two sets of stairs, which is impractical for many mobility impaired citizens and senior citizens. The sensible integration of single level housing units, within four-story condo buildings equipped with elevators, is the only practical way to make the McKee Peak Neighbourhood accessible to all mobility impaired citizens and senior citizens, while maintaining minimum required housing density.
  - The lack of four-story condo buildings within housing currently designated on the McKee Peak Neighbourhood Plan places unnecessary economic barriers on many households who may otherwise wish to live within the McKee Peak Neighbourhood but lack the means to do so under this plan. The sensible integration of four-story condo buildings into the McKee Peak Neighbourhood Plan will allow a wider range of household incomes to have access to home ownership on McKee Peak. Additionally, four-story condo buildings provide far greater potential for rental accommodation for households where home ownership is not an option.
  - Potential to have professional daycare facility in ground floor commercial space. The need for this is particularly acute in the neighbourhood surrounding the

school site.

-Potential for other neighbourhood amenities such as a convenience store, postal outlet or pharmacy.

5. Using footprints for pond sizes will be problematic. The ponds and **detention** tanks are intended to accommodate a volume of water and if this can be accommodated on a smaller footprint it should be encouraged. Also given the slopes in this area if an applicant cannot demonstrate they can accommodate the volume required on the footprint detailed in the plan, they may need more but will refer to the plan to show that more land is not required. We suggest you remove the footprints from the section.
6. The parks are too big for a hillside community and they are inconsistent with past parkland dedication in the McKee Peak Neighbourhood (ie. Atwood Park, Callaghan Park, Mathers Park, Shadbolt Park, Tom Thomson Park). The slopes in the area will not support large format recreational facilities such as playing fields and small format uses such as playgrounds, seating/picnic areas only need an acre or less. We suggest you drastically reduce the size of the parks so that the city and developers can use their 5% parkland dedication (in land or cash) to preserve the integrity of the trail system and provide trailheads with parking areas, signage etc.

We appreciate your consideration with respect to the aforementioned concerns and we look forward to discussing this further with you shortly.

If there is anything I can do to help, or any further information I can provide, please do not hesitate to ask.

Kind Regards,

Greg Kenny

Trustee  
Bertha Kenny (2020) Family Trust

Director  
Fraser City Investors Ltd.

**From:**  
**To:** [Mitchell Comb](#)  
**Subject:** McKee Neighborhood Plan  
**Date:** Friday, June 3, 2022 11:00:32 AM

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Good day Mr. Comb,

I understand that the McKee Neighbourhood Plan comments have been closed, but as someone who has lived in Auguston for many years now and will for many more years to come, I wanted to give one more thought to the plan. I commented previously when the link was open so I hope you will accept my last thoughts on the neighbourhood plan.

I would like to put forward the idea around the environmental impact, that all buildings whether they be residential, or commercial, be required to meet the provincial and municipal Step Code 5. The plan should require the full protection of our beautiful environment during construction; protecting as best we can for generations to come.

Thank you for your time.

Take Care,

Sent from my iPhone



# COUNCIL REPORT

## Regular Council

Report No. LLS 009-2022

Date: September 26, 2022

File No: 3900-20

To: Mayor and Council  
From: Aniz Alani, General Manager, Legal and Legislative Services  
Subject: McKee Neighbourhood Plan Update

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### RECOMMENDATION

1. THAT first and second reading of Bylaw No. 3275-2022, "Official Community Plan, 2016, Amendment Bylaw No. 017" be rescinded; and
2. THAT staff be directed to present Bylaw No. 3275-2022, "Official Community Plan, 2016, Amendment Bylaw No. 017" at a subsequent meeting of the Executive Committee of Council.

REPORT CONCURRENCE	
<b>General Manager</b>  The General Manager concurs with the recommendation of this report.	<b>City Manager</b>  The City Manager concurs with the recommendation of this report.

### SUMMARY OF THE ISSUE

Out of an abundance of caution, the Mayor has indicated an intention to withdraw from participation from Council's consideration of the McKee Neighbourhood Plan due to a potential apprehension of bias. To give full effect to the Mayor's recusal, staff recommend rescinding first and second reading of the bylaw proposing implementation of the McKee Neighbourhood Plan so that it can be re-introduced at a future Council meeting.

### BACKGROUND

Bylaw No. 3275-2022, "Official Community Plan, 2016, Amendment Bylaw No. 017" received first and second reading on June 13, 2022.

In the course of preparing for the public hearing regarding the bylaw on July 25, 2022, the Mayor notified staff of a potential concern. In particular, the Mayor observed that a portion of the Vicarro Ranch development fell within the scope of the proposed McKee Neighbourhood Plan.

One of the beneficial owners of Vicarro Ranch holds an ownership interest in a ranch that the Mayor also owns in the Interior.

The Mayor's past practice has been to recuse himself, out of abundance of caution, from items coming before Council involving Vicarro Ranch, including a Development Permit with Variances that came before Council on December 7, 2020.

Pending an opportunity to receive legal advice, the public hearing scheduled for July 25, 2022 was postponed out of an abundance of caution.

More recently, it came to the Mayor's attention that an extended family member holds a beneficial interest in a property within the McKee Neighbourhood Plan.

To avoid any risk of legal challenge on this basis, and to be consistent with his past practice, the Mayor has indicated an intention to recuse himself from all further consideration of the bylaw proposing implementation of the McKee Neighbourhood Plan.

## **DISCUSSION**

In order to give full effect to the Mayor's intended recusal, staff recommend that Council rescind first and second readings of Bylaw No. 3275- 2022.

Staff would then be directed to reintroduce the bylaw for fresh consideration, without the Mayor's participation, at a future meeting of Council.

In light of the general local election scheduled for October 15, 2022, staff recommend that the re-introduction of the bylaw be deferred until after the Inaugural Council Meeting to be held on November 7, 2022. Notice of a public hearing would subsequently be published in accordance with the *Local Government Act*.

## **IMPACTS ON COUNCIL POLICIES, STRATEGIC PLAN AND/OR COUNCIL DIRECTION**

The recommendation supports Council's Strategic Plan Cornerstone of Organizational Alignment: The City of Abbotsford has strong consistent governance and aligned operations.

## **SUBSTANTIATION OF RECOMMENDATION**

Rescinding previous bylaw readings related to the McKee Neighbourhood Plan and re-introducing the bylaw gives full effect to the Mayor's stated intention to withdraw from participation of Council's consideration of the bylaw.

A handwritten signature in blue ink, consisting of a stylized 'A' followed by a horizontal line.

*Aniz Alani*  
*General Manager, Legal and Legislative Services*  
*Signed 9/26/2022 8:40 AM*



# **McKee NP - Stage 4 Final Plan**

Executive Committee Meeting

January 30, 2023

Planning and Development Services

Engineering and Regional Utilities

# Agenda

- Purpose
- Summary of the Issue
- Context
- Discussion
- Next Steps
- Recommendations

## Purpose

- To introduce the McKee Neighbourhood Plan to Council for consideration of bylaw readings

## Summary of the Issue

- Staff are introducing the McKee Neighbourhood Plan (Bylaw 3275-2022) for consideration of bylaw readings

# Context

## Neighbourhood Plan Process

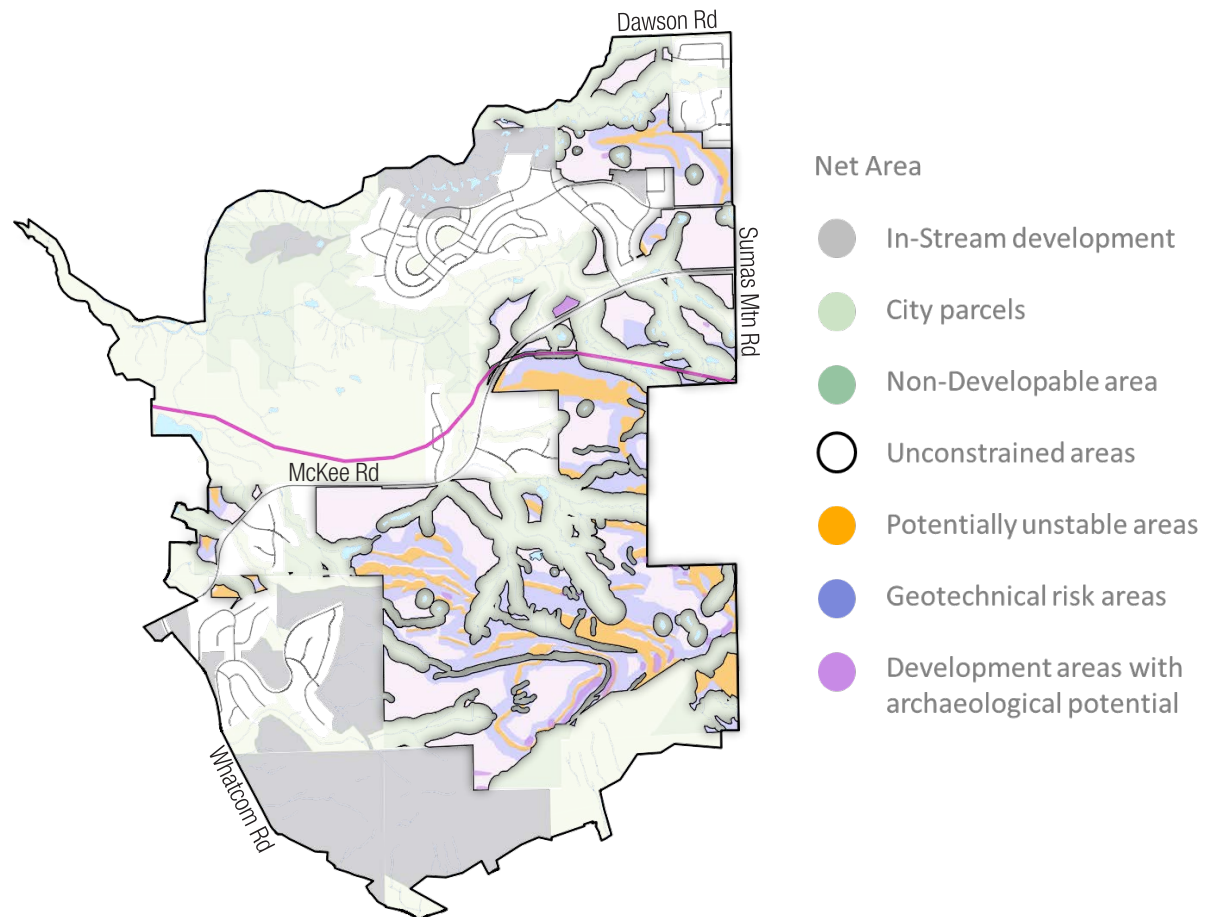


We are here

# Context

## Stage 1 - Background Research

- Determine protected from developable lands
- Based on OCP policy and senior government legislation
- Examined:
  - » Geotechnical
  - » Watercourses and riparian areas
  - » Species at Risk
  - » Archaeological Overview Assessment
- Stage 1 Background Research Report





# Context

## Stage 2 - Explore Options

- Conceptual engineering
- Archaeological Impact Assessment
- Public Engagement
  - » Let's Talk Abbotsford platform
  - » In-person design workshop
- Stage 2 Concept Report



# Context

## Stage 3 - Draft Plan

- Drafted policies and created Development Permit guidelines
- Modelled servicing and conducted Transportation Impact Assessment
- Stage 3 Draft Plan Report
- Engagement
  - » Let's Talk Abbotsford platform
  - » Public open houses
  - » First Nations staff
  - » Trail user groups
  - » Landowners



# Discussion

## Public Engagement Results

Draft plan public engagement opportunities included:

- Let's Talk Abbotsford Q&A and Survey (May 13-30) approx. 425 comment forms
- Three in-person open houses (May 17, 18, 19) - approx. 170 attendees



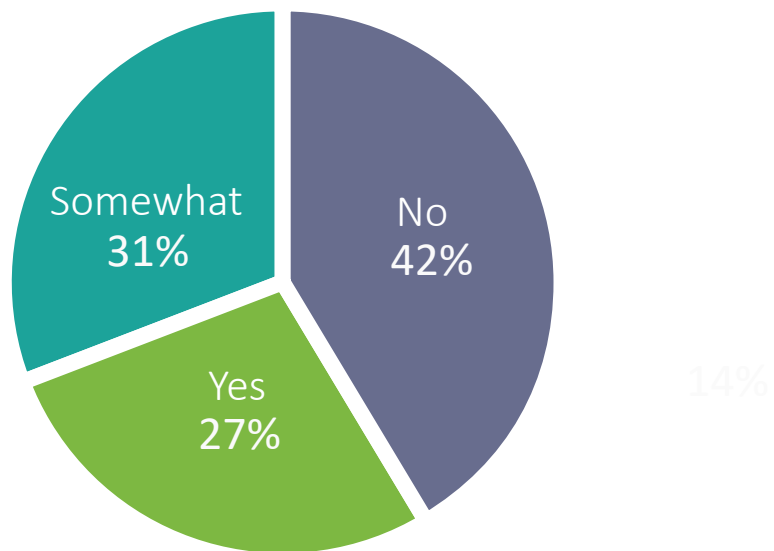
# Discussion

## Public Engagement Results

*Do you support the vision and direction for the neighbourhood presented in the draft plan?*

### Open Houses

120 Responses



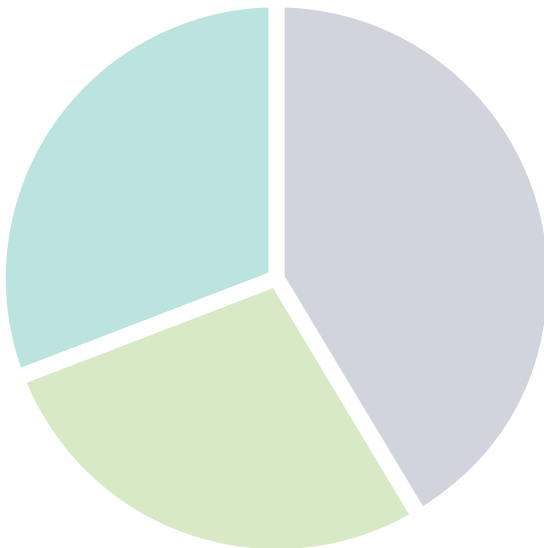
## Discussion

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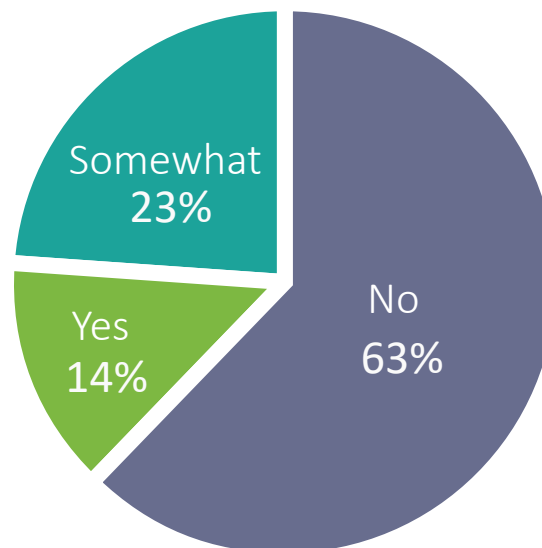
#### Open Houses

120 Responses



#### Let's Talk Abbotsford

425 Responses



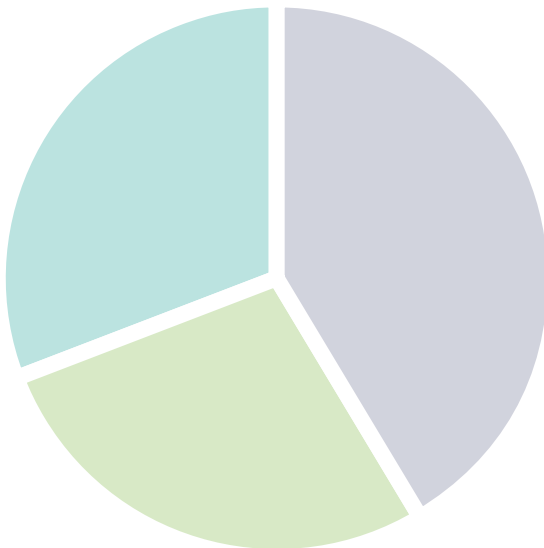
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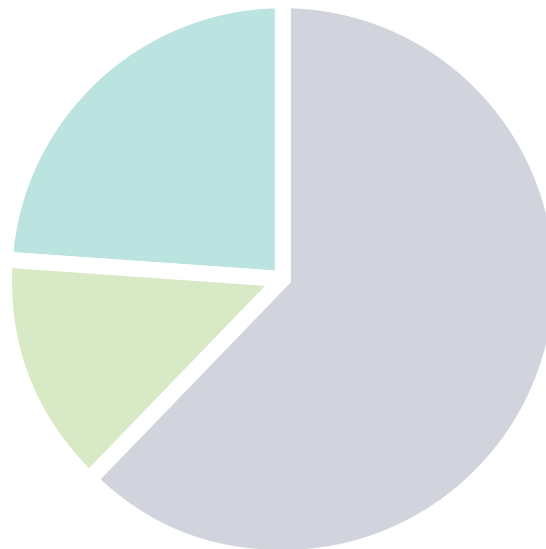
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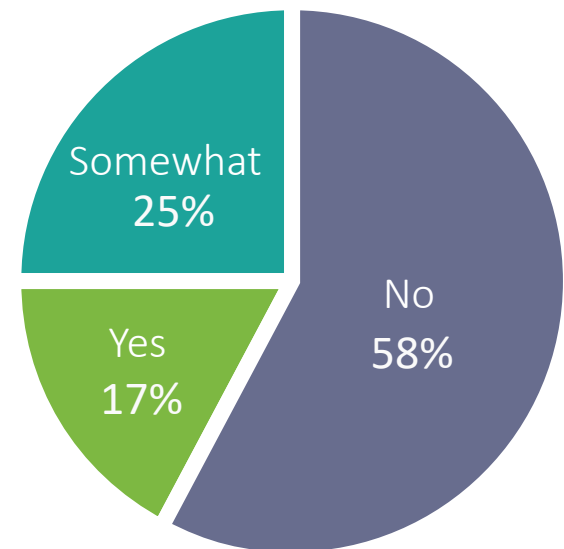
### Let's Talk Abbotsford

425 Responses



### Combined

545 Total Responses

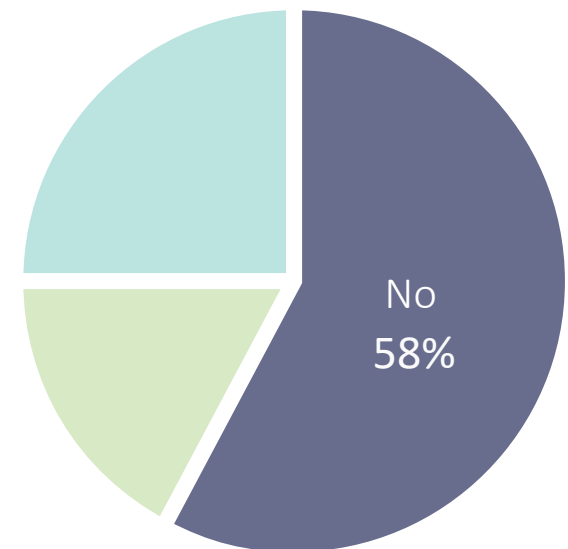
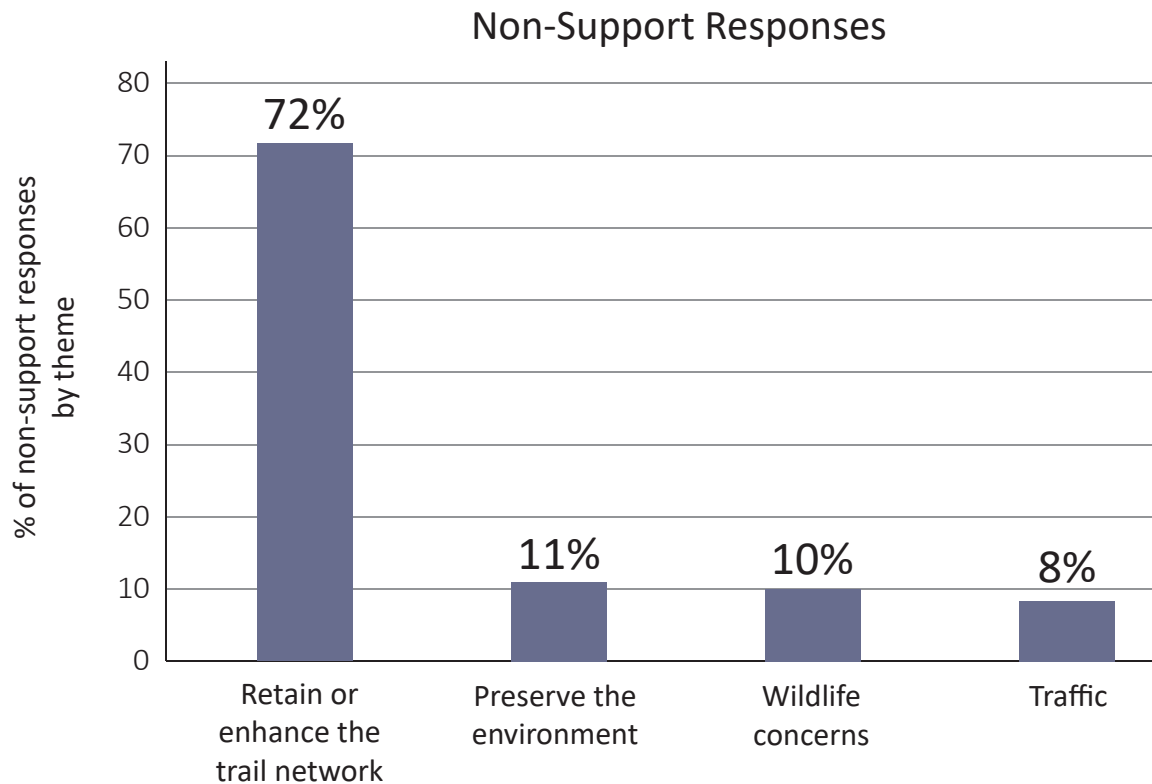




# Discussion

## Public Engagement Results

*Do you support the vision and direction for the neighbourhood presented in the draft plan?*



# Discussion

## McKee Neighbourhood Plan

- Introduction and Vision
- Land Use
- Policies
- Development Permit Guidelines
- Infrastructure
- Implementation



# Discussion

## McKee Neighbourhood Vision



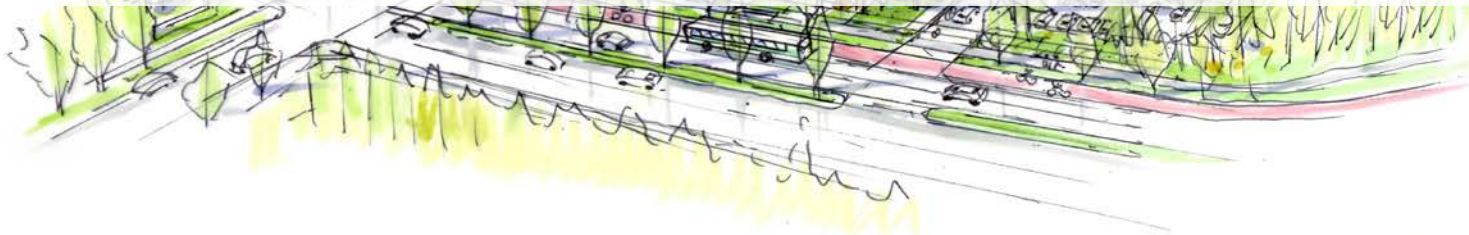


# Discussion

## McKee Neighbourhood Vision



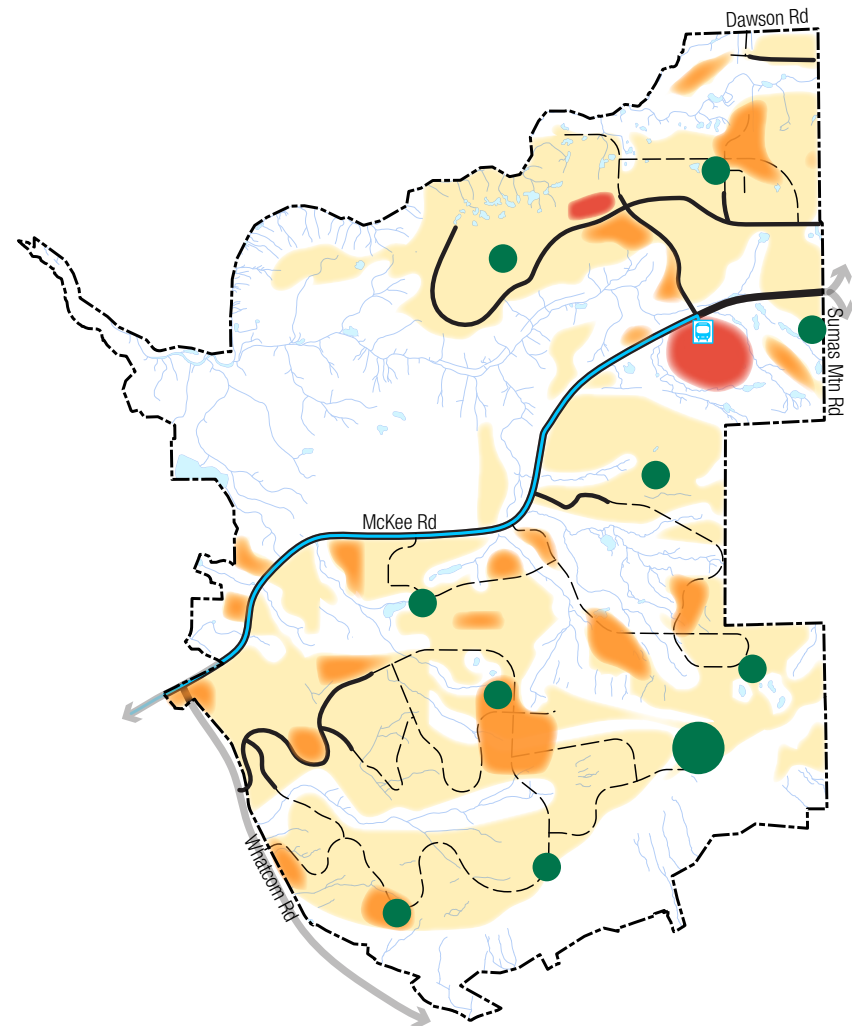
*The McKee neighbourhood is the outdoor adventure hub in Abbotsford, where a mindful balance unifies the diverse interests in this land. Neighbourhoods are seamlessly integrated into the mountain, which continues to be a place of deep cultural and spiritual significance to local First Nations. Trails meander between forests and streams, protecting the environment and offering ways to connect with the land and enjoy the vast outdoor recreation opportunities. Residents and visitors will emerge from the forest on foot or bike into the McKee Village to meet up with friends, shop for daily needs, and experience a vibrant village-like setting that celebrates the mountainous landscape.*



# Discussion









## Land Use - Neighbourhood Structure

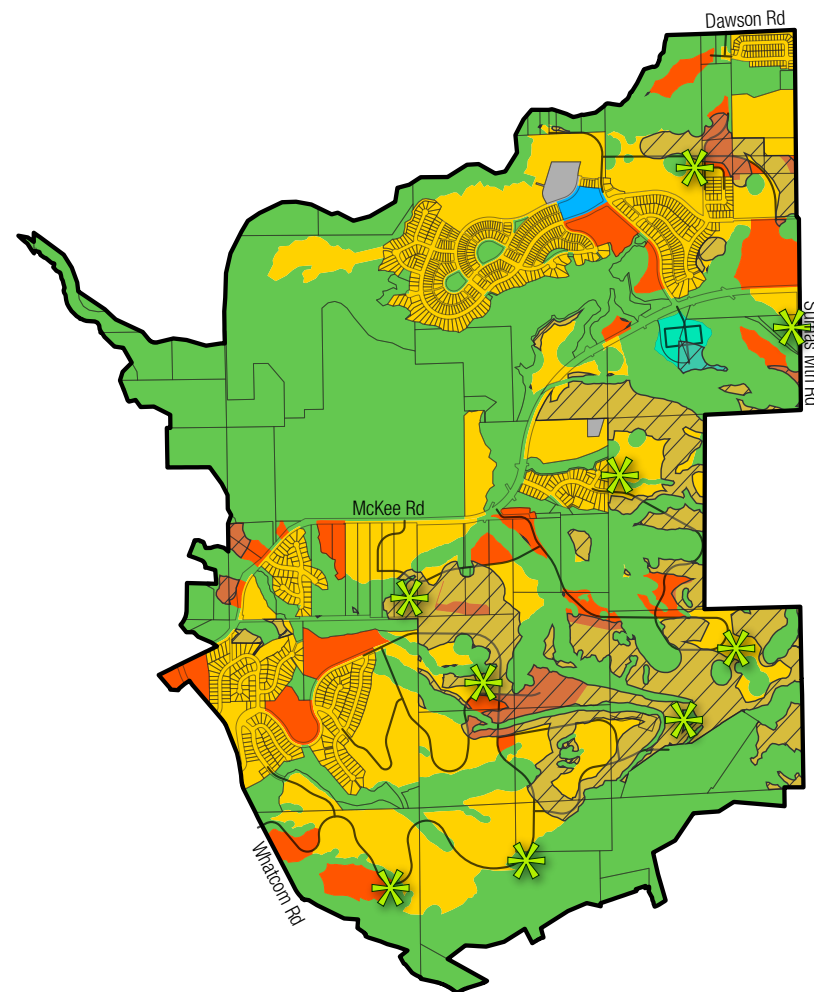
- New residential growth focused in development cells
- McKee Village - heart of the new neighbourhood
- New transit terminus, road network, trail connections form transportation options
- Open space network comprised of environmentally sensitive areas, geotechnical risk areas, and parkland



# Discussion

## Land Use - Land Use Plan

-  Urban 2 - Ground Oriented
-  Urban 4 - Detached
-  Neighbourhood Centre
-  McKee Village
-  Open Space
-  Institutional
-  Proposed Park Locations
-  Geotechnical Risk Areas





# Discussion

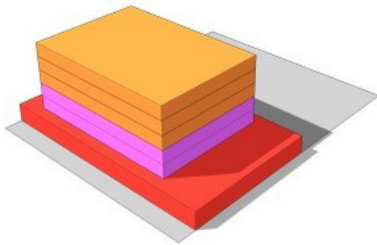
## Commercial Streets



# Discussion

## Land Use - New Land Uses

### McKee Village



- Enable a mix of uses (commercial & residential)
- Primary hub for outdoor recreation
- Maximum 6 storeys
- 1.0-2.0 FSR

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### Geotechnical Risk Areas



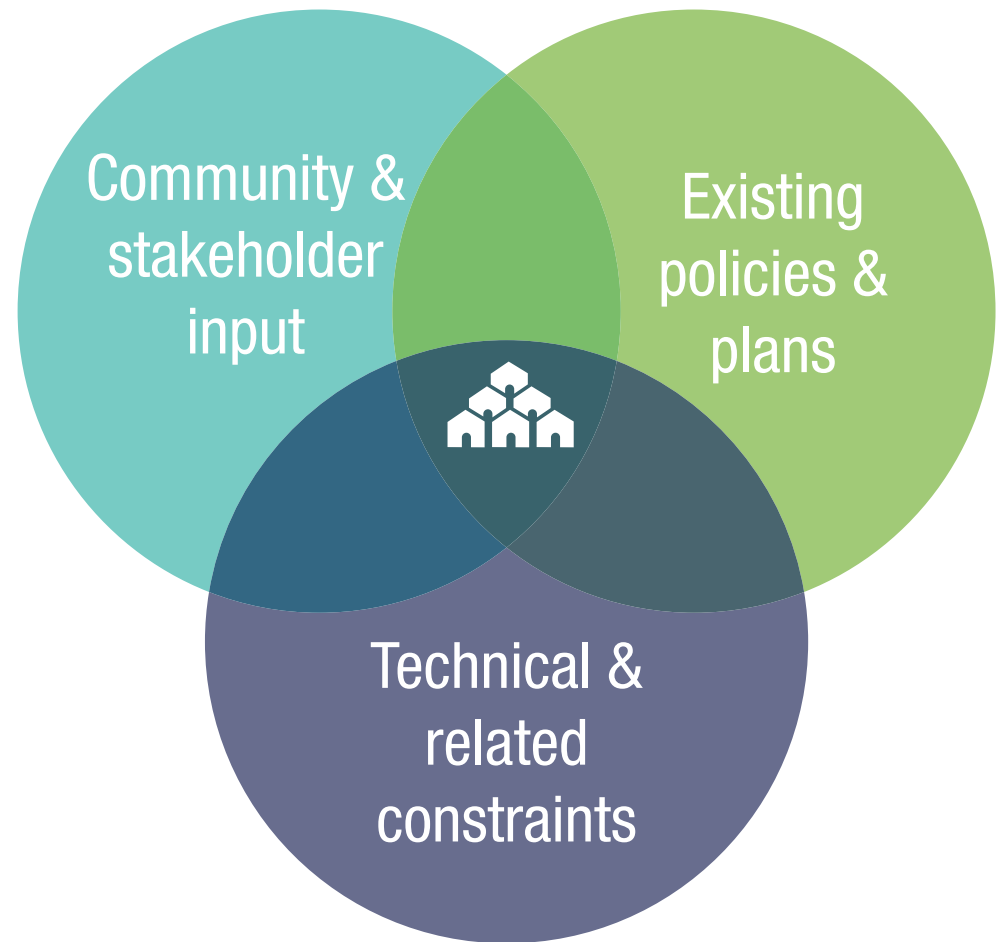
- Overlay identifying potentially unstable areas (generally unsuitable for development)
- Development may be permitted with supporting geotechnical report
- If no support, land transferred to City as Open Space
- Density as per underlying land use designation

## Discussion

### Policies

Policies were shaped by:

- Community & stakeholder input
- Existing policies and plans
- Technical and related constraints



# Discussion

## Plan Goals

- Four key goals inform the foundation of the McKee Neighbourhood Plan



Enhance Outdoor Recreation



Work with the Land



Finding a Balance



Adaptive Neighbourhoods

# Discussion

## Policies - Enhance Outdoor Recreation

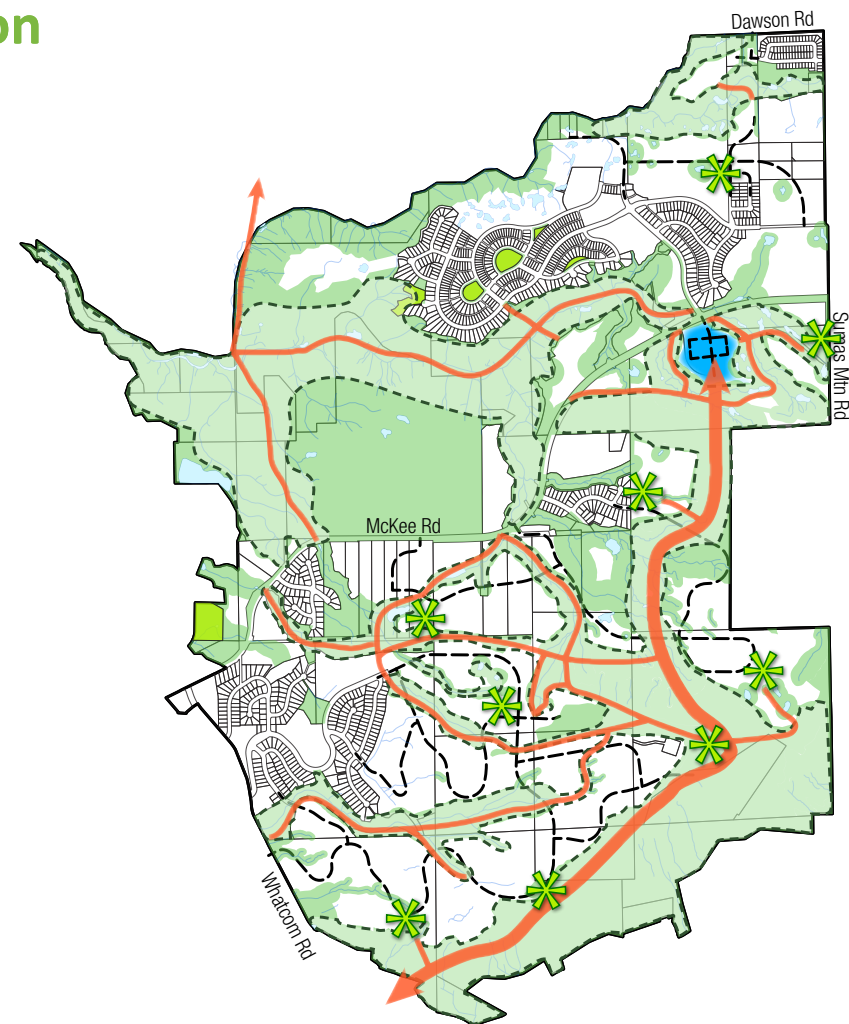
### Key Themes:

Publicly accessible Green Network

McKee Trail Future Study

Park and trail acquisition and development

Protect views



— Trail Corridors



# Discussion

## Policies - Work with the Land

### Key Themes:

Protect natural habitat  
and environmentally  
sensitive areas

Geotechnical risk

Areas of archaeological  
potential

Avoiding cultural sites





# Discussion

## Policies - Finding a Balance

### Key Themes:

Establishing gathering spaces

Outdoor recreation focus

Neighbourhood-scale commercial

Cultural inclusiveness



# Discussion

## Policies - Adaptive Neighbourhoods

### Key Themes:

Variety of ground-oriented housing options

Mix of lot types to accommodate terrain

School site acquisition and distribution



# Discussion

## DP Guidelines - McKee Village

### **Integrates natural landscape into everyday life**

- natural wood & post and beam architectural elements
- rock & split rail fencing

### **Integration of First Nation cultural elements**

- use of red, black and white accent colours
- artwork & street name signage in both English and Halq'emeylem

### **Supporting outdoor recreation activities**

- providing bicycle infrastructure
- maintaining views and vistas



# Discussion

## DP Guidelines - Steep Slope

### Key Additions:

- Drainage and erosion control guidelines for sound stormwater management practices to mitigate hazardous conditions
- Building design to respond to unique hillside character

# Discussion

## DP Guidelines - Wildfire Hazard

### Key Additions:

- Hazardous Conditions - Identify hazards to property
- Conditions for Development - establish general conditions & expectations
- Building Materials - minimize wildfire risk through fire-resistive materials
- Landscaping - minimize wildfire risk using landscape design



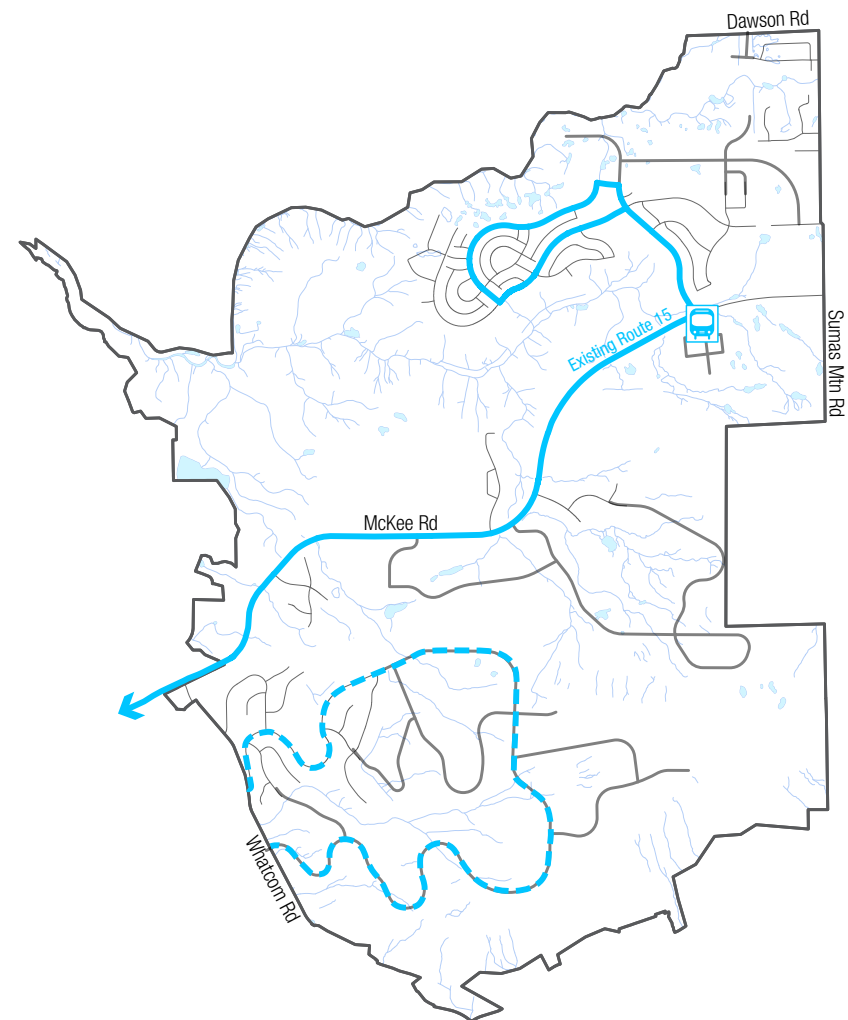
# Discussion

## Infrastructure - Transportation

### Key Themes:

**Multi-modal system** with complete streets (pedestrians, cycling, transit, vehicles)

**Parking** for residents and outdoor recreation visitors (parking pockets for trailheads, recreation parking lots)





# Discussion

## Infrastructure - Road Network

### Key Themes:

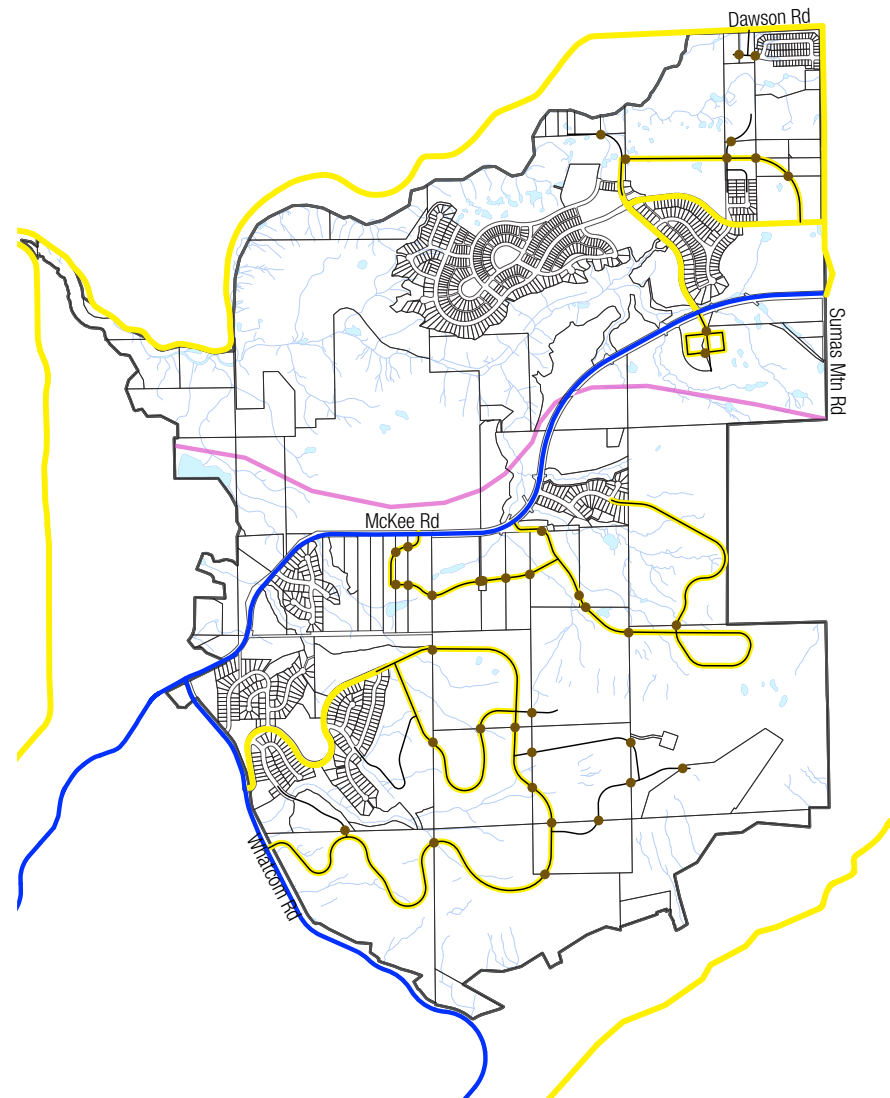
**Traffic Impact Assessment** conducted for major existing and proposed roadways

### Upgrades:

- McKee and Whatcom Rd to 4-lane arterials (plus left turn lanes)
- Future signalization at intersections

### Lands beyond access points:

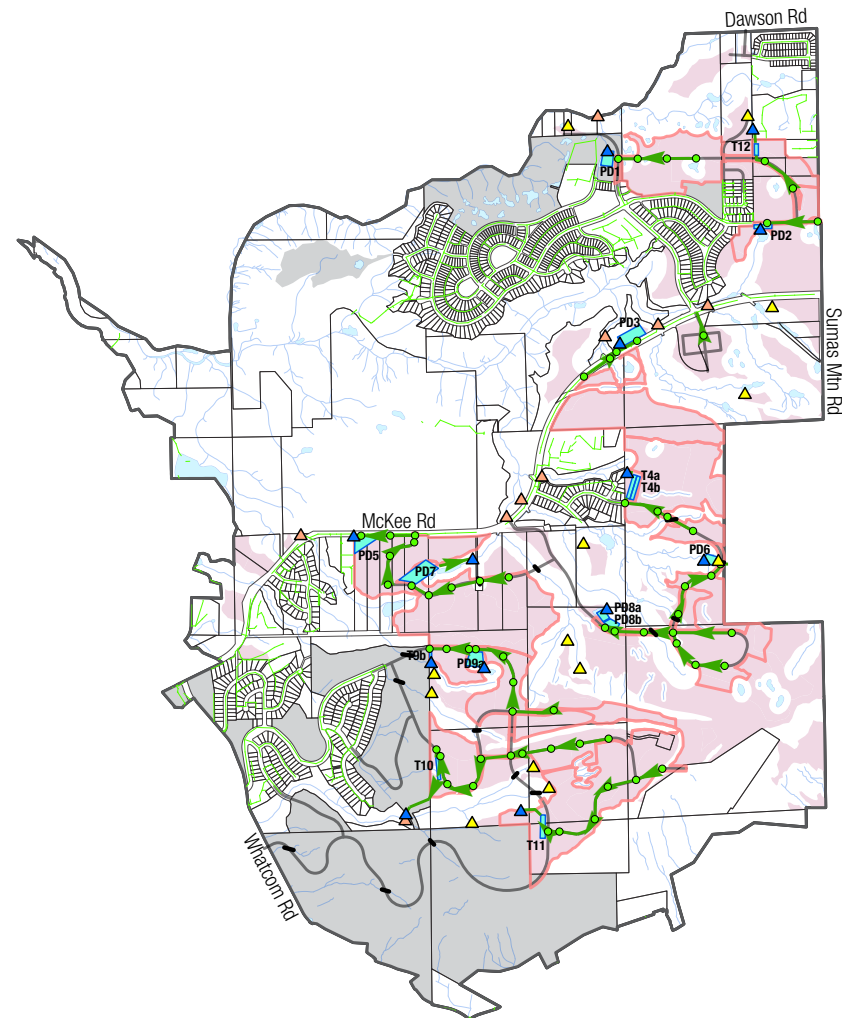
- Facilitates development equitably
- Ensures collector network is possible
- Flexibility provided within developable lands (Development Bylaw standards)



# Discussion

## Infrastructure - Stormwater

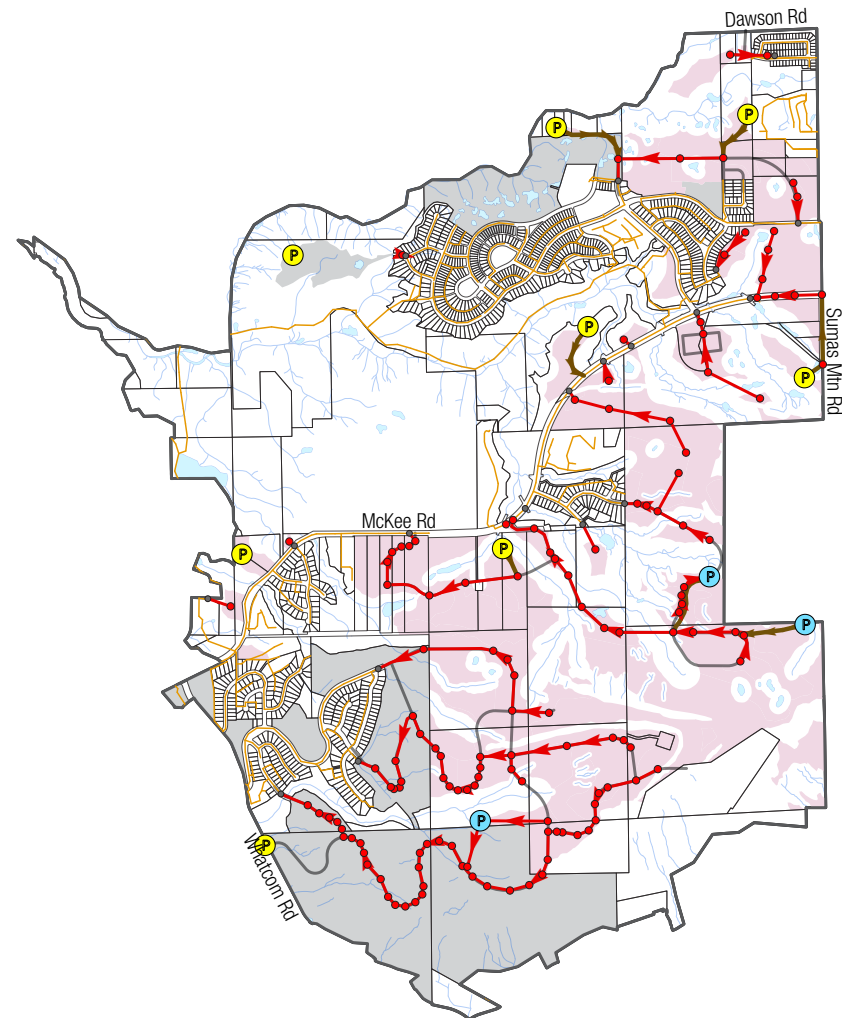
- Catchment-based system
- Maintain baseflows to existing water-courses
- Locate infrastructure under roads
- Identified 12 community detention facilities (total volume)



# Discussion

## Infrastructure - Wastewater

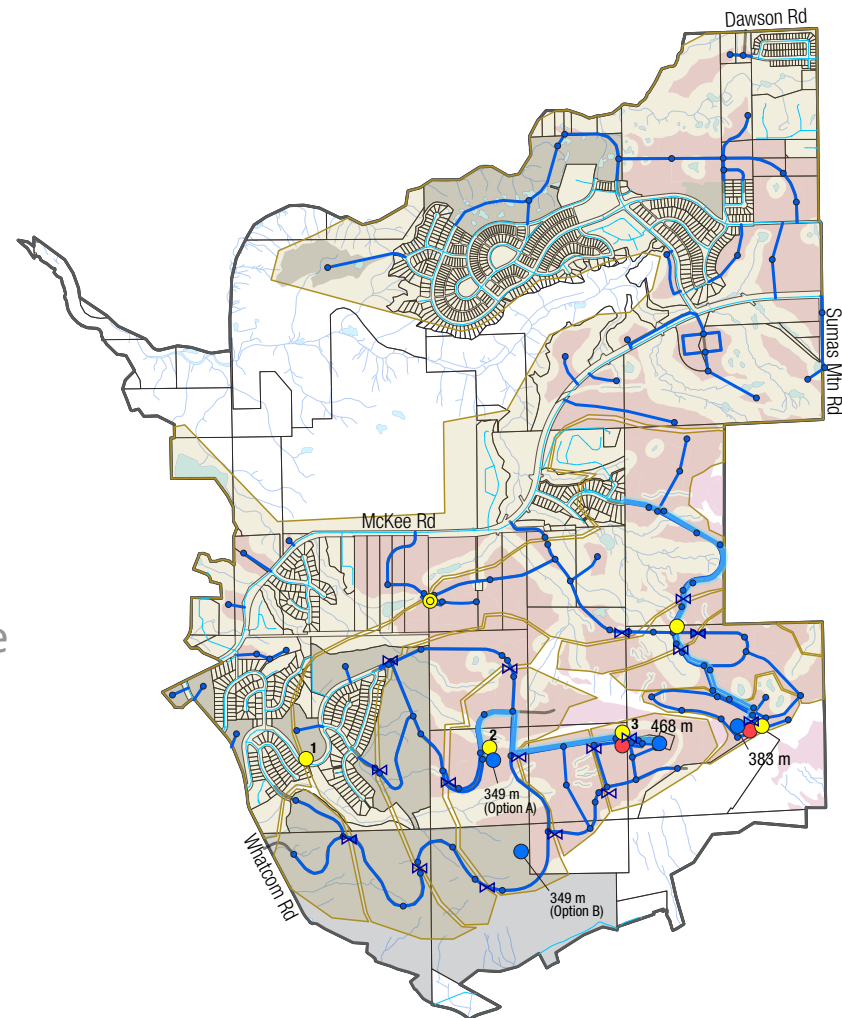
- Catchment-based system
- Use gravity where possible (11 pump stations required)
- Locate infrastructure under roads



# Discussion

## Infrastructure - Water

- Distribution network will use reservoirs, pump stations, and water main trunk network
- 3 reservoirs and one expansion cell
  - Existing McKee reservoir with an expansion cell
  - Phase 1 (349m - 2 options) and Phase 2 (468m) reservoirs on McKee Peak
  - Reservoir in Ledgeview (383m)



# Discussion

## Implementation - Financial Strategy

- Developer Responsibility
- Capital Programs
- Grants
- Development Cost Charges

# Discussion

## Implementation - Phasing Plan

Phasing requirements identified to facilitate development in orderly manner

### Key Principles:

- Phase areas identified based on catchments
- Providing required infrastructure components to complete phase
- Water, wastewater, stormwater, road network



# Discussion

## Plan Updates

Revisions to the draft plan include:

- Commercial streets designation moved one block north for max. business exposure within McKee Village
- Minor refinements to DP guidelines and policies
- Added flexibility for infrastructure systems
- Updates to the road network section regarding classifications and required upgrades
- Removal of the phasing plan map and corresponding table, and minor refinements to phasing plan text
- Updated phasing plan for securing school sites

## Discussion


### Proposed Plan



- McKee NP presents a vision as an outdoor adventure hub
- Plan takes into account diverse interests and integrates development while still protecting environment
- Emphasis on trail retention
- Approach taken through policies enables design and details of future trail network to be worked out with trail user groups



## Next Steps



**Today** 1st and 2nd Readings  
**Jan. - Mar.** Referrals  
**Mar. 6** Public Hearing  
**Mar. 27** 3rd and 4th Readings

## Recommendations

1. THAT Bylaw No. 3275-2022, “Official Community Plan Bylaw, 2016, Amendment Bylaw No. 17”, be given first reading at the next Council Meeting;
2. THAT, after first reading of Bylaw No. 3275-2022, “Official Community Plan, 2016, Amendment Bylaw No. 17”, pursuant to Section 477(3)(a)(i) of the Local Government Act, Council consider the Bylaw in conjunction with the City of Abbotsford’s Financial Plan;
3. THAT, after first reading of Bylaw No. 3275-2022, “Official Community Plan, 2016, Amendment Bylaw No. 17”, pursuant to Section 477(3)(a)(ii) of the Local Government Act, Council consider the Bylaw in conjunction with the City of Abbotsford’s Wastewater System Master Plan, and JAMES Wastewater Master Plan, and the Fraser Valley Regional District’s Solid Waste Management Plan;
4. THAT, after first reading of Bylaw No. 3275-2022, “Official Community Plan, 2016, Amendment Bylaw No. 17”, pursuant to Section 475 and 476 of the Local Government Act, Council direct staff to send the Bylaw to the following entities for comment:
  - a. School District No. 34 (Abbotsford) Board of Education;
  - b. Fraser Valley Regional District;
  - c. Sumas First Nation;
  - d. Matsqui First Nation;
  - e. Leq’a:mel First Nation;
  - f. Sto:lo Nation;
  - g. BC Transit;
  - h. Conseil scolaire francophone de la Colombie-Britannique;
  - i. Fraser Health; and
  - j. Ministry of Transportation and Infrastructure.
5. THAT Bylaw No. 3275-2022, “Official Community Plan Bylaw, 2016, Amendment Bylaw No. 17”, be given second reading at the next Council Meeting, and be advanced to a Public Hearing on March 6, 2023.